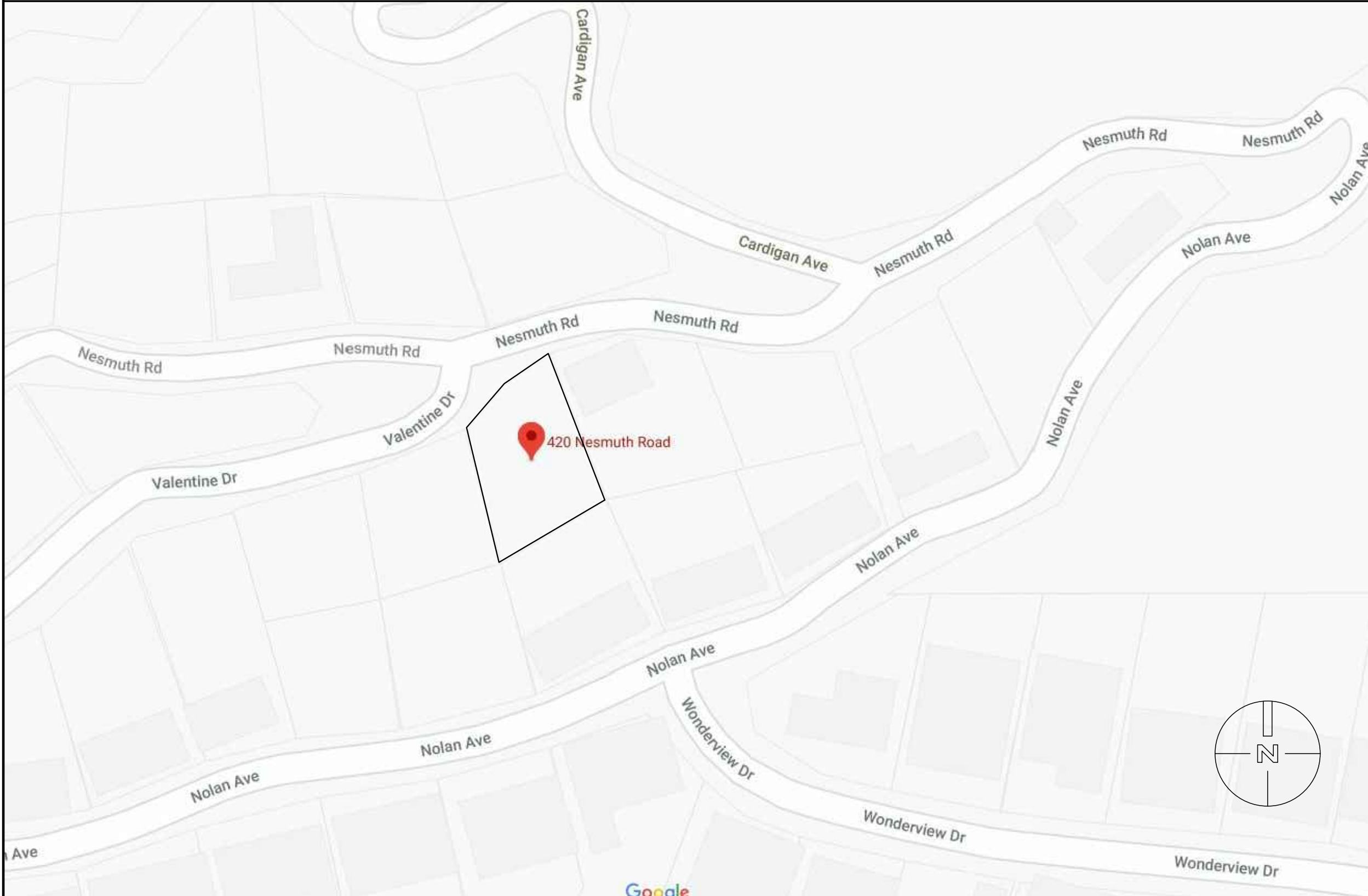
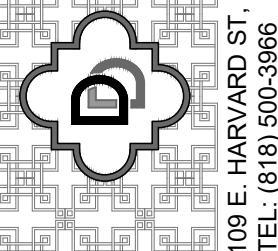


PROJECT DESCRIPTION	DESIGNER	PROJECT DATA	SHEET INDEX																					
NEW 3-STORY SINGLE FAMILY RESIDENCE 2268 SQ.FT W/ ATTACHED 2 CAR GARAGE 500 S.F. Ground Floor = 2 car garage 455 s.f. + stairs 101 s.f First Floor = living area 1043 s.f. Second floor = Bedrooms 1169.5 s.f. Total Bldg. area = 2768.5 s.f.(500 Garage +2268.5 Living area)	DOMUS DESIGN 109 E. HARVARD ST. #306 GLENDALE, CA 91205 TEL: (818) 507-4444 FAX: (818) 548-81-08	ZONING: R1R II LOT AREA: 7,566 S.F. OCCUPANCY GROUP: R-3 / U-1 TYPE OF CONSTRUCTION: V-B SPRINKLERED: YES FLOOR AREA TABULATION: GROUND FLOOR 455 S.F. 2 CAR GARAGE 101 S.F. STAIRS FIRST FLOOR AREA: 1043 S.F. SECOND FLOOR AREA: 1169.5 S.F. TOTAL FLOOR AREA: 2212.5 S.F. TOTAL BUILDING AREA 2768 S.F. F.A.R. 2768-500 garage = 2268 s.f.=29.9% LANDSCAPED AREA: 4212 S.F. EARTH WORK QUANTITY: CUT: 803.43 CU.YD FILL: 0 CU.YD EXPORT: 803.43 CU.YD IMPORT: 0 CU.YD ZONING INFO: <table><tr><th></th><th>REQUIRED / ALLOWED</th><th>PROVIDED / PROPOSED</th></tr><tr><td>F.A.R. 7566 X 30%</td><td>2269.8 S.F. MAX.</td><td>2259 S.F. (29.8%)</td></tr><tr><td>LOT COVERAGE: 7566 X 30%</td><td>2269.8 S.F. MAX.</td><td>1393.6 S.F. (18.4%)</td></tr><tr><td>LANDSCAPED AREA: 7566 X 40%</td><td>3026.4 S.F. MIN.</td><td>4212 S.F. (55.6%)</td></tr><tr><td>BUILDING HEIGHT:</td><td></td><td></td></tr><tr><td>MAIN HOUSE:</td><td>3 STORIES (32'+3') MAX.</td><td>3 STORIES (34'-6")</td></tr><tr><td>UNGRADED</td><td>3027 SQ.FT. = 40%</td><td>3659 SQ.FT. = 48%</td></tr></table>		REQUIRED / ALLOWED	PROVIDED / PROPOSED	F.A.R. 7566 X 30%	2269.8 S.F. MAX.	2259 S.F. (29.8%)	LOT COVERAGE: 7566 X 30%	2269.8 S.F. MAX.	1393.6 S.F. (18.4%)	LANDSCAPED AREA: 7566 X 40%	3026.4 S.F. MIN.	4212 S.F. (55.6%)	BUILDING HEIGHT:			MAIN HOUSE:	3 STORIES (32'+3') MAX.	3 STORIES (34'-6")	UNGRADED	3027 SQ.FT. = 40%	3659 SQ.FT. = 48%	A-0 COVER SHEET A-0.1 NOTES C-1 SURVEY MAP A-1 SLOPE ANALYSIS A-2 SITE PLAN A-3 GARAGE FLOOR PLAN A-4 FIRST FLOOR PLAN A-5 SECOND FLOOR PLAN A-6 ROOF PLAN A-7 SECTION PLANS A-7.1 SECTION PLANS A-8 NORTH-WEST & SOUTH-EAST ELEVATIONS A-8C NORTH-WEST & SOUTH-EAST COLORED ELEVATIONS A-9 SOUTH-WEST & NORTH-EAST ELEVATIONS A-9C SOUTH-WEST & NORTH-EAST COLORED ELEVATIONS A-10 DOOR AND WINDOW SCHEDULE AD-1 ARCHITECTURAL DETAIL L-1 PLANTING PLAN L-2 IRRIGATION PLAN L-3 LANDSCAPE DETAIL & SPECIFICATION
	REQUIRED / ALLOWED	PROVIDED / PROPOSED																						
F.A.R. 7566 X 30%	2269.8 S.F. MAX.	2259 S.F. (29.8%)																						
LOT COVERAGE: 7566 X 30%	2269.8 S.F. MAX.	1393.6 S.F. (18.4%)																						
LANDSCAPED AREA: 7566 X 40%	3026.4 S.F. MIN.	4212 S.F. (55.6%)																						
BUILDING HEIGHT:																								
MAIN HOUSE:	3 STORIES (32'+3') MAX.	3 STORIES (34'-6")																						
UNGRADED	3027 SQ.FT. = 40%	3659 SQ.FT. = 48%																						
PROJECT ADDRESS	ENGINEER (ENGINEER OF RECORD)																							
420 NESMUTH ROAD, GLENDALE, CA. 91202	PATRICK BARATY 109 E. HARVARD ST. #306 GLENDALE, CA 91205 TEL: (818) 500-3966 FAX: (818) 548-8108																							
LEGAL DESCRIPTION	SURVEYOR																							
APN: 5630-022-015 TRACT NO 4881 LOT 49 5630022015	NL ENGINEERING & SURVEYING, INC. 790 S. ATLANTIC BLVD, SUITE 106 MONTEREY PARK, CA 91754 TEL: (626) 281-2001 FAX: (626) 281-2008																							
PROPERTY OWNER																								
ALFRED BABAYANS. 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011																								
APPLICABLE CODES																								
CBC 2019, CEC 2019, CMC 2019, 2019 CPC, 2019 CALIFORNIA ENERGY CODE, 2020 GLENDALE BUILDING AND SAFETY CODE 2019 CALIFORNIA GREEN CODE																								
VICINITY MAP																								
																								

DOMUS

DESIGN



RCB

ENGINEERING

450 North Brand Blvd. # 600
Glendale, CA 91203
TEL: (818) 813-1852

REVISION	BY
04/01/2021	

OWNER


PROJECT

DRAWING TITLE

ALFRED BABAYANS.
4609 OCEAN VIEW BLVD,
LA CANADA, CA, 91011

420 NESMUTH ROAD,
GLENDALE, CA. 91202

COVER SHEET



DATE: JUNE 2020

SCALE: N.T.S.

DRAWN: XXX

APPROVED:

JOB: 2020 -18

SHEET: A-0

OF SHEETS

	<div>GENERAL NOTES</div> <div>1. Applications for which no permit is issued within one (1) year following the date of application shall automatically expire. (R105.3.2 CRC)</div> <div>2. Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandon for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official.</div> <div>3. Fire sprinkler plans stamped approved by the City of Glendale's Fire Department shall be provided at the site at time of framing inspection.</div> <div>4. Water closets shall have an average water consumption of not more than 1.6 gallons of water per flush, 1.28 gallons per flush after July 1, 2011. (401.3 CPC)</div> <div>5. Urinals shall have an average water consumption of not more than 1.0 gallons of water per flush, 0.5 gallons per flush after July 1, 2011. (401.3 CPC)</div> <div>6. Shower heads shall have a water flow not to exceed 2.5 gallons per minute. (401.3 CPC)</div> <div>7. Faucets in kitchens, wet bars, lavatories, laundry sinks, etc. shall have a water flow not to exceed 2.2 gallons per minute. (401.3 CPC)</div> <div>8. Water piping materials within a building shall be in accordance with Sec. 604.1 of the California Plumbing Code. Pex, CPVC and other plastic water piping systems shall be installed in accordance with the requirements of Sec. 604 of the CPC, installation Standards of Appendix I of the CPC and manufacturers recommended installation standards. CPVC water piping requires a Certification of Compliance as specified in Sec 604.1.1 of the CPC prior to permit issuance.</div>	<div>SECURITY NOTES</div> <div>1. Door jambs shall have a solid backing with no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches (153mm) each side of the strike.</div> <div>2. In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Jambs shall have solid backing against sole plates.</div> <div>3. Iron or steel screens shall be 1/8" thick with 2" mesh securely fastened.</div> <div>4. Iron bars shall be 1/2" diameter bars or 1" x 1/4" flat steel spaced at 5" max. securely fastened.</div> <div>5. Cylinder guards shall be attached with 1/2" connecting screws, and shall be installed whenever the cylinder projects beyond the face of the door, or is otherwise accessible to gripping tools.</div> <div>6. Door stops for in-swinging doors shall be integrated (rabetted) with the jamb. Jambs for all doors shall be constructed or protected so as to prevent violation of the strike.</div> <div>7. The strike plate for deadbolts on all wood frame doors shall be constructed of at least sixteen (16) U.S. gauge steel, bronze, or brass and secured to the jamb by a minimum of two screws.</div> <div>8. Hinges for out-swinging doors shall be equipped with non-removable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.</div> <div>9. Louvered windows shall not be used when any portion of the window is less than 12 feet (3658mm) vertically or 6 feet (1829mm) horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform, or similar structure.</div> <div>10. Garage Door Types: Rolling overhead, solid overhead, swing or sliding accordion garage-type doors shall conform to the following standards:<div>10.1. Wood doors shall have panels a minimum of five-sixteenths (5/16) inch (8mm) in thickness with the locking hardware being attached to the support framing.</div><div>10.2. Aluminum doors shall be a minimum thickness of .0215 inches (.546mm) and riveted together a minimum of eighteen (18) inches (458mm) on center along the outside seams. There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access, door framing within three (3) inches (76mm) of the strike area of the pilot or pedestrian access door.</div><div>10.3. Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot (1831 gram/m2) from the bottom of the door to a height of seven (7) feet (2134mm). Panels above seven (7) feet (2134mm) and panels in residential structures shall have a density not less than five (5) ounces per square foot (1526 grams/m2).</div><div>10.4. Doors utilizing a cylinder lock shall have not less than a five (5) pin tumbler operation with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch (25.4mm).</div><div>10.5. Doors exceeding sixteen (16) feet (4877mm) in width shall have two lock receiving points or, if the door does not exceed nineteen (19) feet (5791mm), a single bolt may be used if placed in the center of the door with the locking point located either at the floor or door frame header; or, torsion spring counter balance type hardware may be used.</div><div>10.6. Doors with slide bolt assemblies shall have frames a minimum of .120 inches (3mm) in thickness, with a minimum bolt diameter of one-half (½) inch (13mm) and protrude at least one and one-half (1½) inches (38mm) into the receiving guide. A bolt diameter of three-eighths (3/8) inch (10mm) may be used in a residential building. The slide bolt shall be attached to the door with non-removable bolts from the outside. Rivets shall not be used to attach slide bolt assemblies.</div></div> <div>11. Swinging Exterior Doors: All exterior swinging doors of any residential building and attached garages (Except for vehicular access doors), including the door leading from the garage area into the dwelling unit shall be equipped as follows:<div>11.1. All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 ¾ inches (45mm), or with panels not less than nine-sixteenths (9/16) inch (15mm) thick.</div><div>11.2. A single or double door shall be equipped with a single cylinder deadbolt lock with a minimum projection of one (1) inch (25.4mm) and be constructed so as to repel cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch (19mm) into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one fourth (1/4) inch (6.3mm) in diameter. All installation shall be done so that the performance of the locking device will meet the intended anti-burglary requirements. A dual locking mechanism constructed so that both deadbolt and latch can be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices.</div><div>11.3. The inactive leaf of double doors shall be equipped with metal flush bolts having a minimum embedment of five-eighths (5/8) inch (16mm) into the head and threshold or the door frame.</div><div>11.4. Glazing: Glazing in exterior doors or within forty (40) inches (1016mm) of any locking mechanism shall be of fully tempered glass or rated burglary resistant glazing.</div><div>11.5. Wide Angle Viewer: Except where clear vision panels are installed, all front exterior doors shall be equipped with a wide angle (180°) door viewer.</div><div>11.6. Hollow steel doors shall be a minimum sixteen (16) gauge thick with extra reinforcing around the lock to prevent collapsing.</div><div>11.7. Aluminum doors shall be constructed per Vol. VII, Section 15.3 of Security Ordinance No. 5581, and shall be equipped with a double cylinder deadbolt with a 1" min. bolt projection or hook shaped or expanding dog bolt to prevent spreading. The deadbolt lock shall have a minimum of five (5) pin tumblers and a cylinder guard.</div></div> <div>12. Address Number and Identifying Data: Address numbers and other identifying data shall be displayed as follows:<div>12.1. All residential dwellings shall display an address number in a prominent location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than four (4) inches (102mm) in height and shall be of a contrasting color to the background to which they are attached. In addition, any residence with rear vehicular access through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.</div><div>12.2. Multiple Family Dwelling: Illuminated Diagrams and Identification Numbers: There shall be positioned at each entrance of a multiple family dwelling complex an illuminated diagrammatic representation of the complex which shows the location of the viewer and the unit designations within the complex. In addition, each individual unit within the complex shall display a prominent identification number, not less than four (4) inches (102mm) in height, which is easily visible to approaching vehicular and/or pedestrian traffic. In addition, any multiple family dwelling with rear vehicular access shall also display the same numbers at the rear of the building.</div></div>
--	---	--

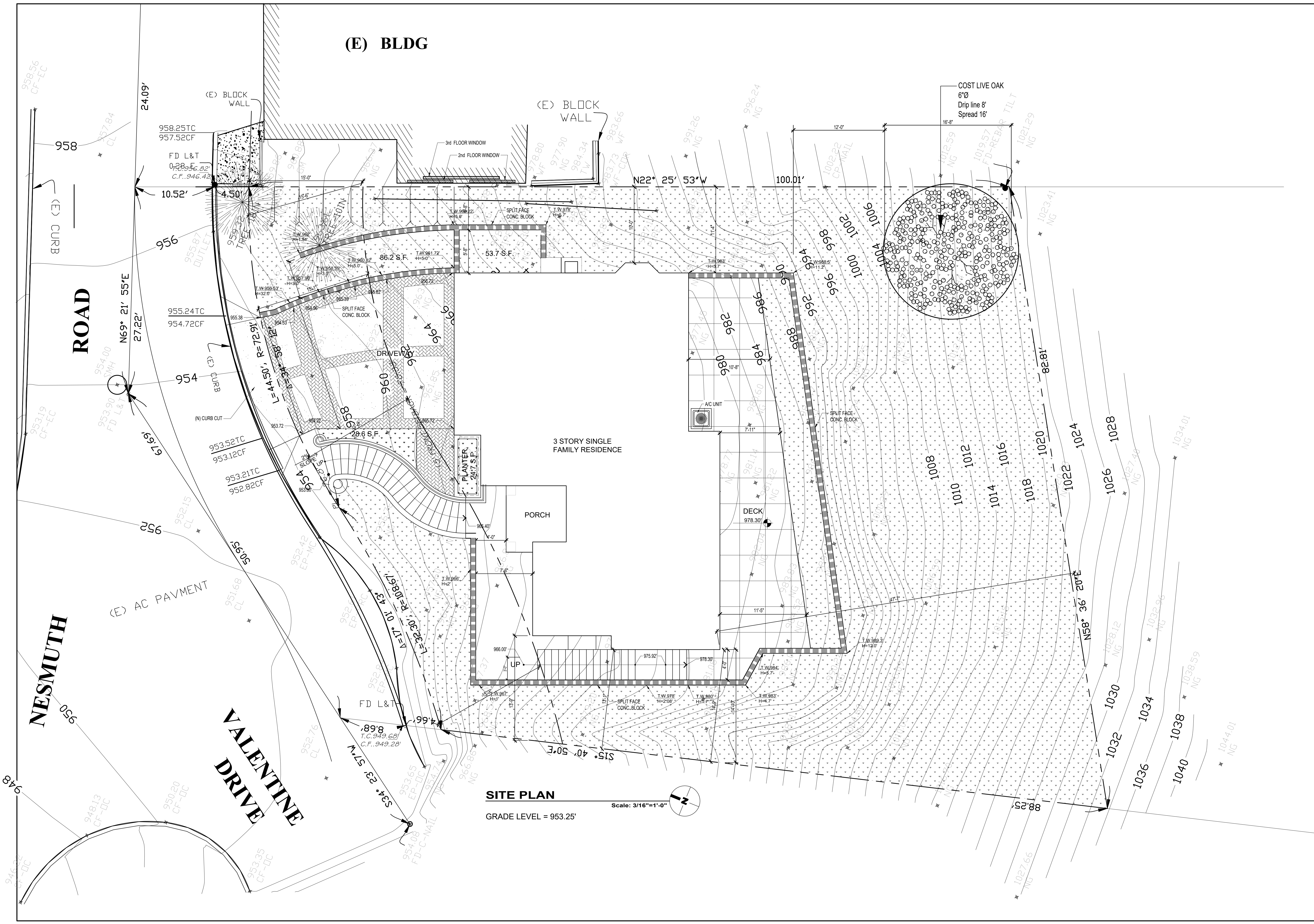
MECHANICAL NOTES

1. Condensate lines from mechanical equipment shall discharge to a plumbing fixture or storm drain by means of an indirect waste pipe. Condensate lines shall not terminate in landscape or yard areas.

2. Provide min. 100 sq.in. makeup air opening in the dryer closet door.

3. Clothes dryer duct shall be of metal and a minimum of 4 inches in diameter. The exhaust duct shall not exceed a total combined horizontal and vertical length of 14 feet, including two 90-degree elbows. Two feet shall be deducted for each 90-degree elbow in excess of two.

 CONSTRUCTION NOTES 1. Bathtubs and shower floors and walls above bathtubs with showers and shower compartments shall be finished with nonabsorbent surface to a height of 6 feet above the floor. 2. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. 3. Safety glazing shall be provided in the following locations: a. Glazing in all fixed and operable panels of swinging, sliding and bifold doors. b. Glazing in walls, enclosures, or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of glazing is less than 60 inches measured vertically above any standing or walking surface. This shall apply to single glazing and all panes in multiple glazing. c. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a closed position and the bottom edge is less than 60 inches above the walking surface. 4. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas. 5. A minimum 26 gauge corrosion-resistant or plastic weep screed with a minimum vertical flange of 3½" shall provided at or below foundation plate line on exterior stud wall. Screed shall be a minimum of 4 inches above earth or 2 inches above paved areas. | GLENDALE FIRE DEPARTMENT NOTES 1. Address Numbers: Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of six (6) inches (152 mm) high with a minimum stroke width of 0.5 inch (12.7 mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on visibility distance. 2. Fire Sprinklers: Provide a complete automatic fire sprinkler system throughout the structure installed in accordance with the recommendations of NFPA 13D and the requirements of the Glendale Fire Department. Fire sprinkler plans shall be submitted within 30 days of issuance of the building permit. 3. Smoke Detectors: Smoke detectors shall be wired to the building electrical system, be equipped with battery backup, and emit a signal when batteries are low. Smoke alarms shall be interconnected, so that the activation of one alarm will activate all other smoke detectors. 4. Carbon Monoxide Detectors: Shall be installed outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. Alarms shall be hardwired from the building power supply and equipped with battery backup. Detectors shall meet U.L. 2034 and/or NFPA 720 standards. Comply with current CRC Chapter 3. 5. Egress: All required exits are to be openable from the inside without key, special knowledge or effort. 6. Fire Permits: The following permits are required from the Fire Department: • Fire Sprinkler • Other _____ 7. Required GFD Inspections: For inspections, call 818-548-4810. Fire Department inspections for this project are: • Fire sprinkler overhead/underground rough and flush (before covering any piping). • Fire sprinkler final. • Fire Prevention Bureau Final (address signs, egress fire department access, smoke detectors, fuel modification, etc.). ELECTRICAL NOTES 1. Fixed appliances such as food waste grinders, dishwashers, washing machines, dryers, laundry tray locations, built-in refrigerators or freezers, furnaces, AC units, built-in heaters or any other fixed appliance with a motor of 1/4 HP or larger shall be on a separate 20 amp. branch circuit. 2. All receptacles in bathrooms, outdoors, crawl spaces, kitchens (where receptacles serve counter top surfaces), laundry, utility, wet bar sinks (within 6 feet of the edge of the sink), shall have ground-fault circuit-interrupter (GFCI) protection. 3. All branch circuits supplying receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways and similar rooms or areas shall be protected by a listed arc-fault circuit interrupter. 4. Within new additions all wall spaces, 2 inches or more in width, shall have receptacles installed such that no point measured horizontally is more than 6 feet from a receptacle (12 feet maximum spacing). 5. Countertops in kitchens, pantry, breakfast rooms and similar areas 12 inches or wider shall have receptacles installed such that no point along the wall is more than 2 feet from a receptacle. 6. Island and peninsular counters 2 feet or wider shall have at least one receptacle. 7. At least one receptacle at grade level shall be installed in both the front and back of the house. 8. Deck accessible from inside the dwelling shall have at least one receptacle installed within the perimeter of the deck, balcony or porch. 9. At least one receptacle shall be installed in the laundry. 10. At least one wall switch-controlled lighting outlet shall be installed on the exterior side of outdoor entrances or exits with grade level access for dwelling. 11. In all new areas specified in CEC Art. 210.52 all non-locking type 125-volt, 15- and 20- ampere receptacles shall be listed tamper-resistant receptacles. 12. In closets, luminaries shall be (a) surface-mounted or recessed incandescent or LED with completely enclosed light sources, (b) Surface mounted or recessed fluorescent luminaries, (c) surface mounted or LED luminaries identified as suitable for installation within storage areas. Minimum clearance between luminaries and the nearest point of storage space shall be as follows: a. 12 inches for surface-mounted incandescent or LED luminaries with completely enclosed light installed on the wall above the door or on the ceiling. b. 6 inches for surface-mounted fluorescent luminaries installed on the wall above the door or on the ceiling. c. 6 inches for recessed incandescent or LED luminaries with a completely enclosed light source installed in the wall or ceiling. d. 6 inches for recessed fluorescent luminaries installed in the wall or ceiling. e. Surface-mounted fluorescent or LED luminaries installed within |



SITE PLAN

GRADE LEVEL = 953.25'

Scale: 3/16"=1'-0"

REVISION	BY
04/01/2021	

OWNER
ALFRED BABAYANS,
4609 OCEAN VIEW BLVD,
LA CANADA, CA, 91011

PROJECT
420 NESMUTH ROAD,
GLENDALE, CA. 91202

DRAWING TITLE
SITE PLAN



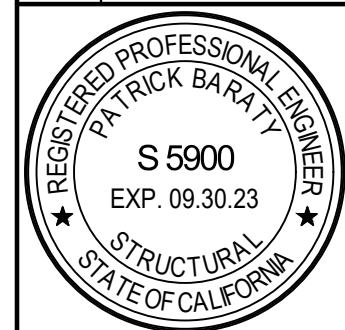
DATE:	JUNE 2020
SCALE:	3/16" = 1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020-18
SHEET:	A-2
OF	SHEETS

REVISION	BY
04/01/2021	

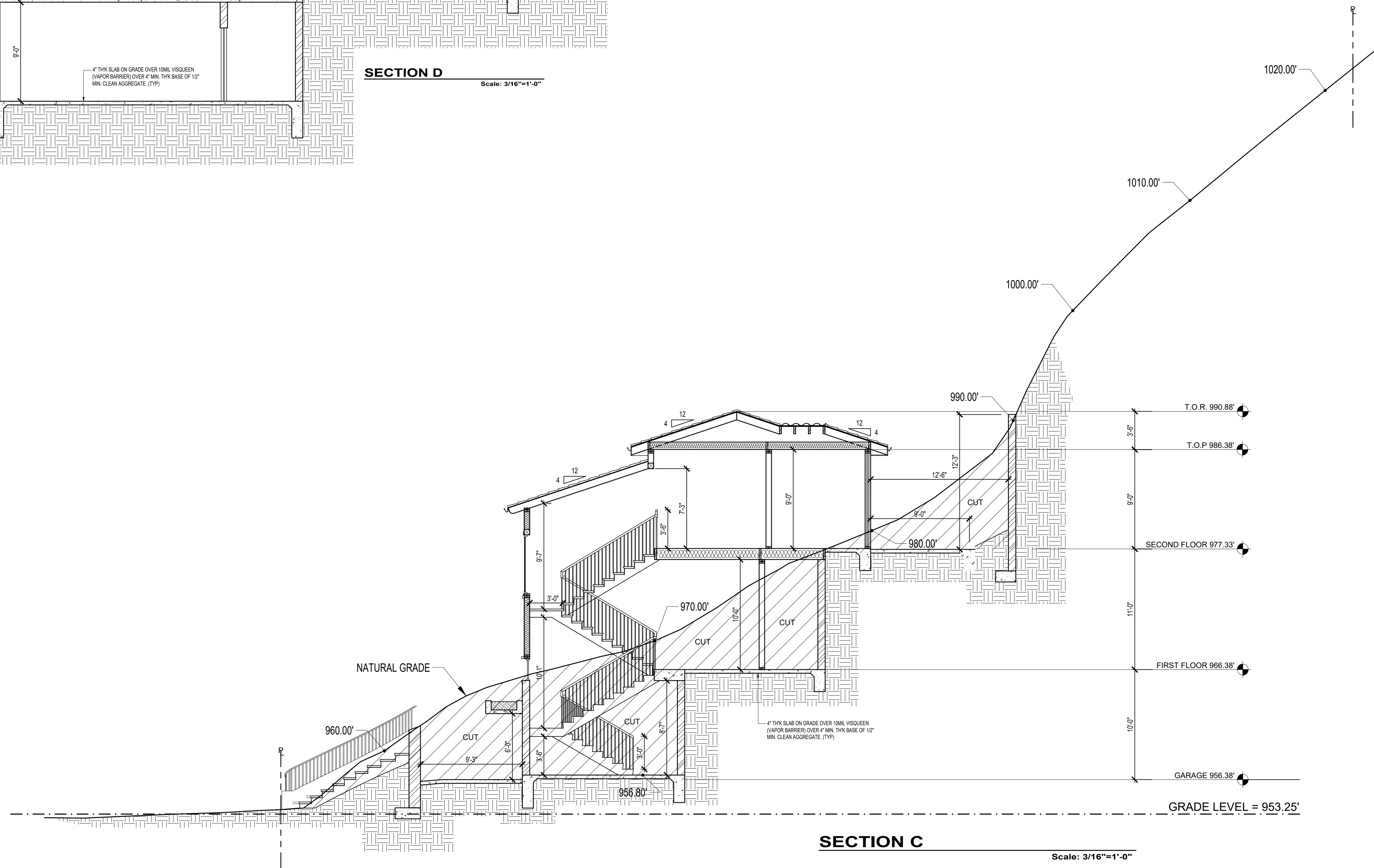
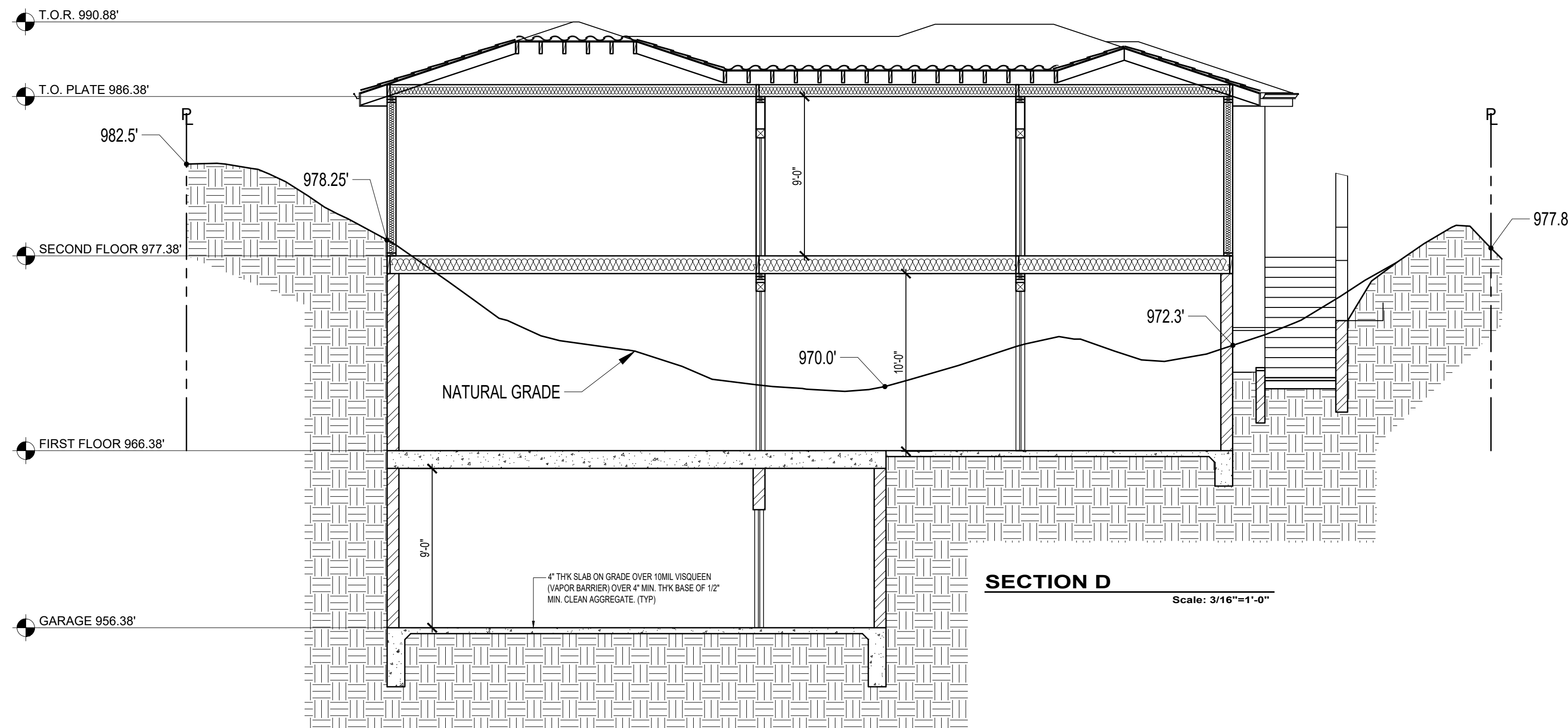
OWNER
ALFRED BABAYANS, 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011

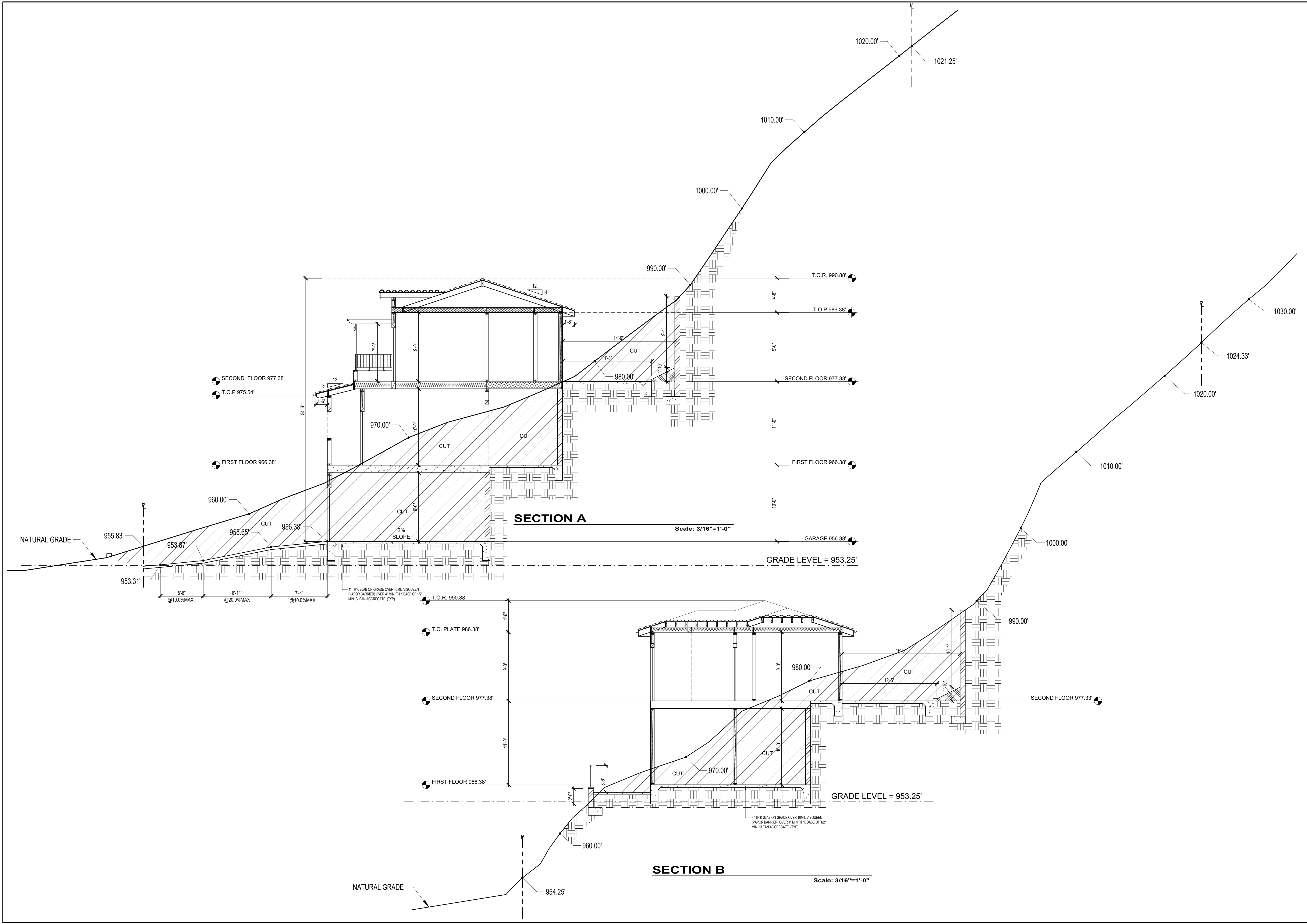
PROJECT
420 NESMUTH ROAD, GLENDALE, CA. 91202

DRAWING TITLE
SECTIONS



DATE:	JUNE 2020
SCALE:	3/16"=1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020 -18
SHEET:	A-7.1
OF	SHEETS





DOMUS

DESIGN

109 E. HARVARD ST. # 306, GLENDALE, CA 91205

TEL: (818) 500-3966

FAX: (818) 548-8108

RCB

ENGINEERING

450 North Brand Blvd. # 600

Glandale, CA 91203

TEL: (818) 813-1852

REVISION	BY
04/01/2021	

OWNER	PROJECT	DRAWING TITLE
ALFRED BABAYANS. 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011	420 NESMUTH ROAD, GLENDALE, CA. 91202	SECTIONS

REGISTERED PROFESSIONAL ENGINEER

PATRICK BABATY

S 5900

EXP. 09.30.23

STRUCTURAL

STATE OF CALIFORNIA

DATE: JUNE 2020

SCALE: 3/16"=1'-0"

DRAWN: XXX

APPROVED:

JOB: 2020 -18

SHEET: A-7

OF SHEETS

ELEVATION KEYNOTES

- 1

ROOF : U.S. TILE - TWO PIECE - EL CAMINO BLEND
- 2

FASCIA :PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 3

GUTTER : TO MATCH THE FASCIA
- 4

TRIMS AND EXPOSED BEAMS : PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 5

STUCCO : LA HABRA X-28 MIRAGE - STEEL TOWELED SMOOTH FINISH
- 6

ENTRY DOOR : WOOD, STAIN GRADE W/GLASS AND SIDE LIGHT PANELS
- 7

EXTERIOR SLIDING DOORS AND WINDOWS : "WOOD CLAD" BROWN COLOR TO MATCH THE ENTRY DOOR
- 8

GARAGE DOOR : WOOD 16'-0"x7'-0" OVERHEAD GARAGE DOOR, COLOR TO MATCH THE ENTRY DOOR
- 9

RAILINGS : COLOR TO MATCH THE WINDOWS AND DOORS
- 10

STONES : CORONADO ASHLAR & RUBBLE - TEXAS RUBBLE/TEXAS CREAM
- 11

DRIVEWAY : PAVING BRICKS @ EDGES - CORONADO FLOOR TILE SERIES - 4"x8" RUSTIC USED BRICK
- 12

RETAINING WALLS: SPLIT FACE CONC. BLOCK BY PAVESTONE WITH A PRECAST CONC. CAP - COLOR TO MATCH BLOCKS
- 13

JOHN TIMBERLAND LIGHTING - BELLAGIO COLLECTION 21" HIGH BRONZE OUTDOOR POST LIGHT
- 14

OUTDOOR 450 LUMEN 2700K SECURITY LANTERNS BY FEIT ELECTRIC

US Tile by Sonaf

Product Information

Profile: 2 Piece Blend

Color Name: DEC756 Weathered Brown

SKU Number: 2020-0000007/Specs 11800/1000

Product Type: Standard Weight Tile

Finish: Matte Natural

Available Regions:

Available Regions: Southern California, Central California, Northern California, and Hawaii

Tile Specifications:

Size: 16" x 12" x 1/2"

Thickness: 0.35"

Weight: 15.5 lbs/sq ft

Acoustic: Sound Absorption: 0.08

Compressive: 6,000 psi

Flexural: 200 psi

Water Absorption: 0.3%

Modulus of Rupture: 2,100 psi

Modulus of Elasticity: 110,000 psi

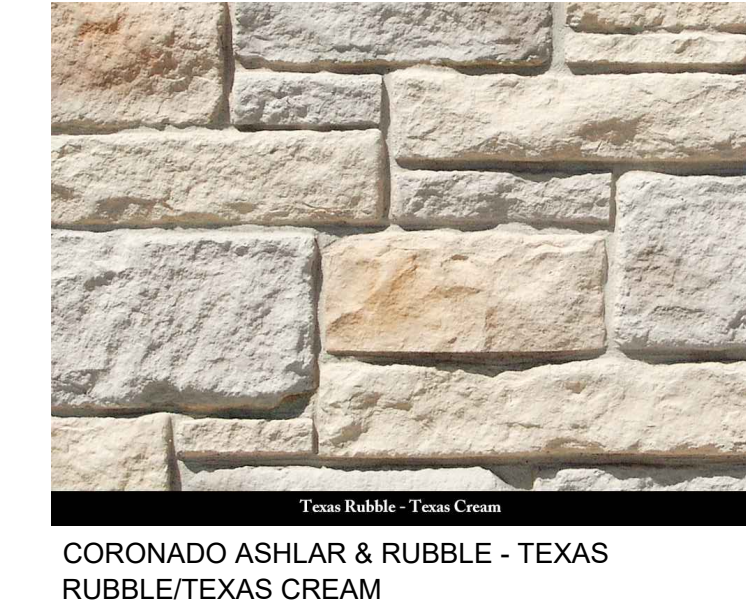
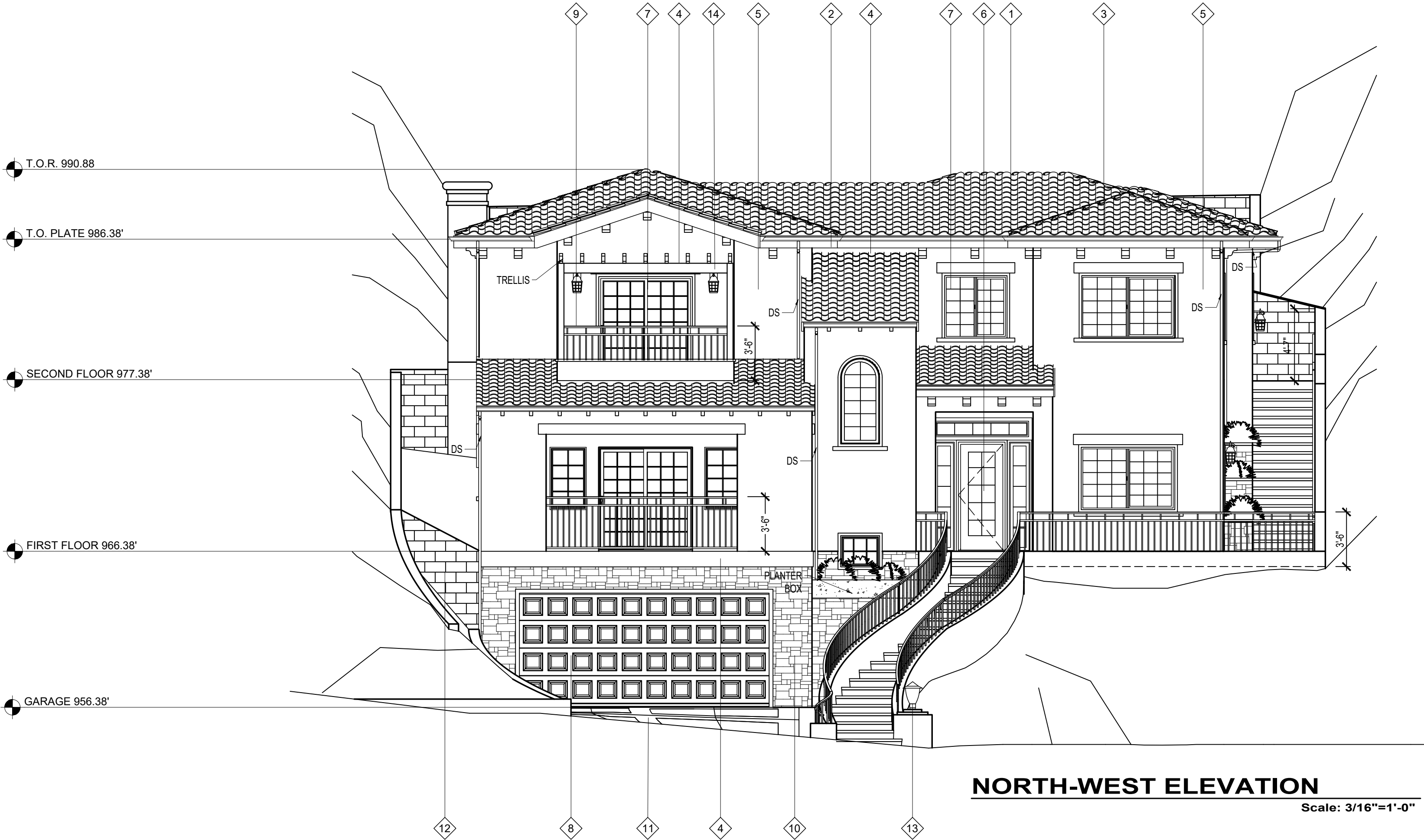
Water Uptake: 0.002%

CRRC

California Rubble & Rubble Company

1400 10th St, Suite 100, San Diego, CA 92101

www.calrubble.com



CORONADO ASHLAR & RUBBLE - TEXAS RUBBLE/TEXAS CREAM



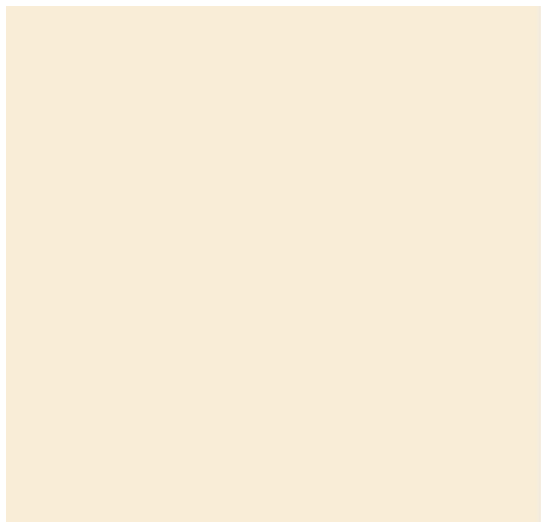
US TILE - TWO PIECE - EL CAMINO BLEND



JOHN TIMBERLAND LIGHTING
BELLAGIO COLLECTION 21" HIGH BRONZE
OUTDOOR POST LIGHT



ROCKWALL LARGE 6 IN. X 17.5 IN. X 7 IN.
PALOMINO CONCRETE RETAINING
WALL BLOCK BY PAVESTONE



STUCCO : LA HABRA X-28 MIRAGE - STEEL
TOWELED SMOOTH FINISH



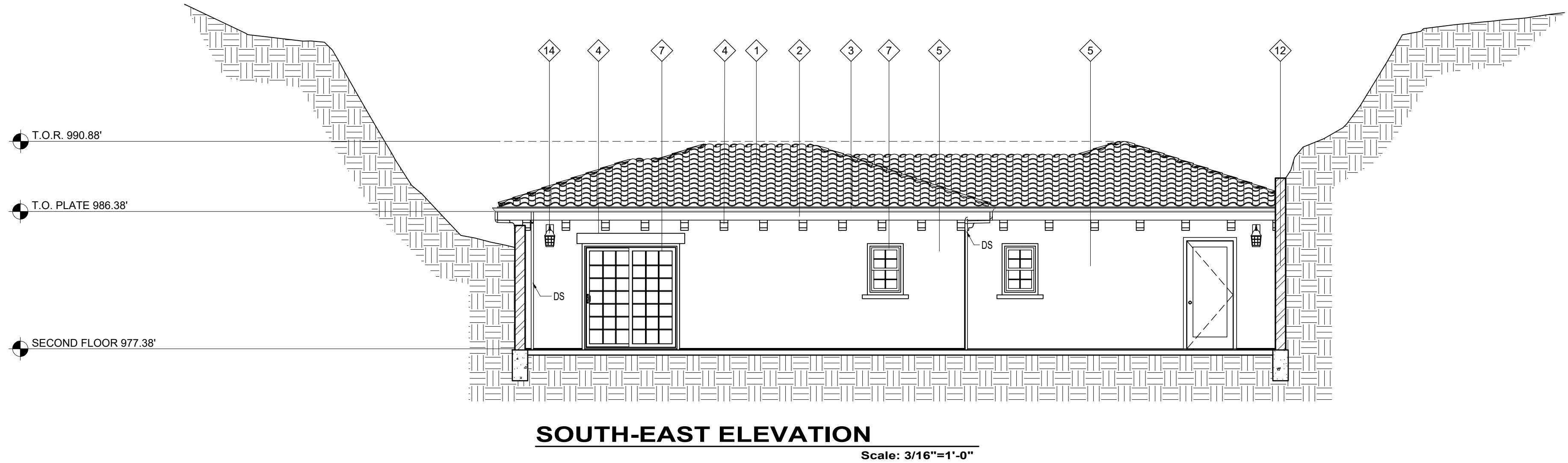
OUTDOOR 450 LUMEN 2700K SECURITY
LANTERNS BY FEIT ELECTRIC



DUNN EDWARDS DEC756
WEATHERED BROWN



CORONADO FLOOR TILE SERIES -
4"x8" RUSTIC USED BRICK



DOMUS

DESIGN

109 E. HARVARD ST. # 306, GLENDALE, CA. 91205

TEL: (618) 500-3966 FAX: (618) 548-9108

RCB

ENGINEERING

450 North Brand Blvd. # 600
Glendale, CA 91203
TEL: (618) 813-1852

REVISION	BY
04/01/2021	

OWNER

ALFRED BABAYANS.
4609 OCEAN VIEW BLVD,
LA CANADA, CA, 91011

PROJECT

420 NESMUTH ROAD,
GLENDALE, CA. 91202

DRAWING TITLE

NORTH-WEST &
SOUTH-EAST ELEVATIONS

REGISTERED PROFESSIONAL ENGINEER

PATRICK BAKAT

S 5900

EXP. 09.30.23

STRUCTURAL

STATE OF CALIFORNIA

DATE: JUNE 2020

SCALE: 3/16"=1'-0"

DRAWN: XXX

APPROVED:

JOB: 2020 -18

SHEET: A-8

OF SHEETS

ELEVATION KEYNOTES

- 1

ROOF : U.S. TILE - TWO PIECE - EL CAMINO BLEND
- 2

FASCIA :PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 3

GUTTER : TO MATCH THE FASCIA
- 4

TRIMS AND EXPOSED BEAMS : PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 5

STUCCO : LA HABRA X-28 MIRAGE - STEEL TOWELED SMOOTH FINISH
- 6

ENTRY DOOR : WOOD, STAIN GRADE W/GLASS AND SIDE LIGHT PANELS
- 7

EXTERIOR SLIDING DOORS AND WINDOWS : "WOOD CLAD" BROWN
COLOR TO MATCH THE ENTRY DOOR
- 8

GARAGE DOOR : WOOD 16'-0"x7'-0" OVERHEAD GARAGE DOOR,
COLOR TO MATCH THE ENTRY DOOR
- 9

RAILINGS : COLOR TO MATCH THE WINDOWS AND DOORS
- 10

STONES : CORONADO ASHLAR & RUBBLE - TEXAS RUBBLE/TEXAS CREAM
- 11

DRIVEWAY : PAVING BRICKS @ EDGES - CORONADO FLOOR
TILE SERIES - 4"x8" RUSTIC USED BRICK
- 12

RETAINING WALLS: SPLIT FACE CONC. BLOCK BY PAVESTONE WITH A PRECAST
CONC. CAP - COLOR TO MATCH BLOCKS
- 13

JOHN TIMBERLAND LIGHTING - BELLAGIO COLLECTION 21" HIGH BRONZE
OUTDOOR POST LIGHT
- 14

OUTDOOR 450 LUMEN 2700K SECURITY LANTERNS
BY FEIT ELECTRIC

T.O.R. 990.88'

T.O. PLATE 986.38'

SECOND FLOOR 977.38'

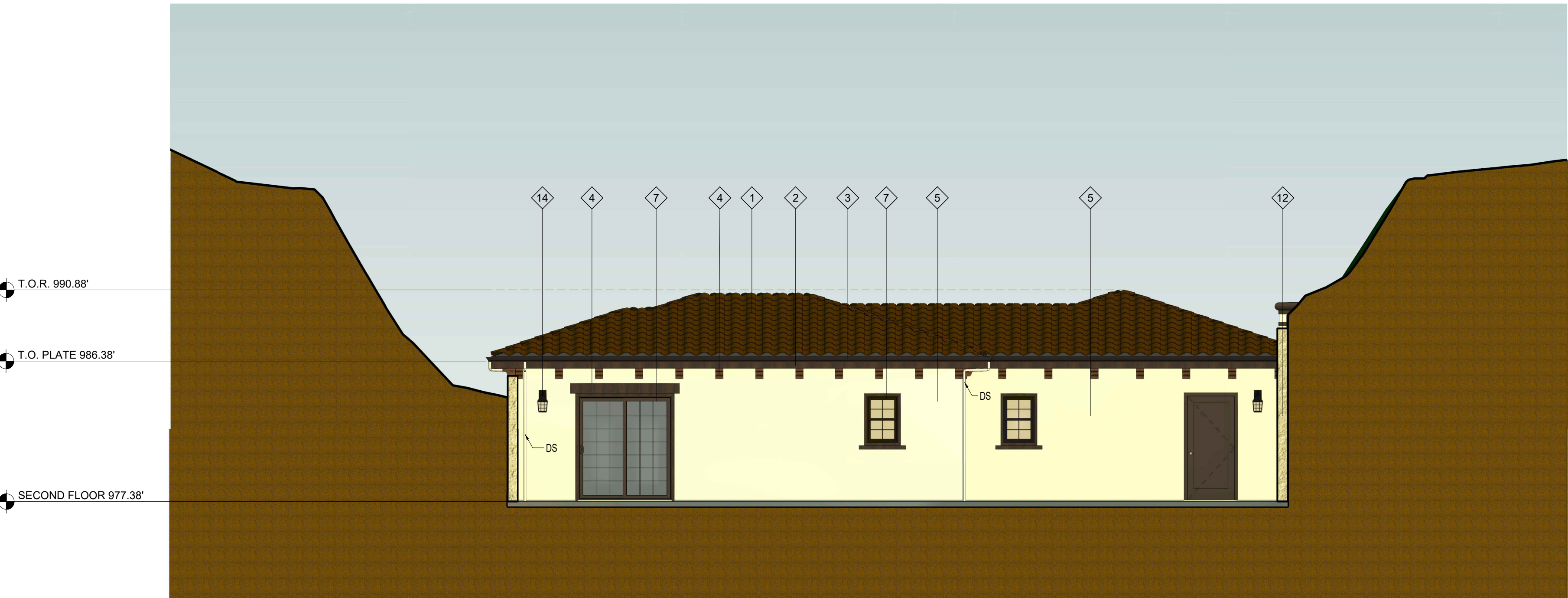
FIRST FLOOR 966.38'

GARAGE 956.38'



NORTH-WEST ELEVATION

Scale: 3/16"=1'-0"



SOUTH-EAST ELEVATION

Scale: 3/16"=1'-0"

REVISION	BY
04/01/2021	

OWNER
ALFRED BABAYANS. 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011

PROJECT
420 NESMUTH ROAD, GLENDALE, CA. 91202

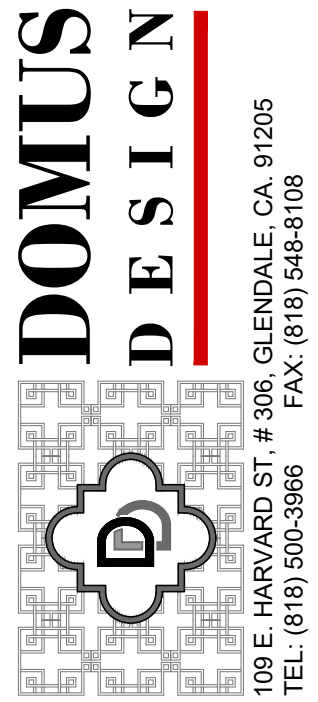
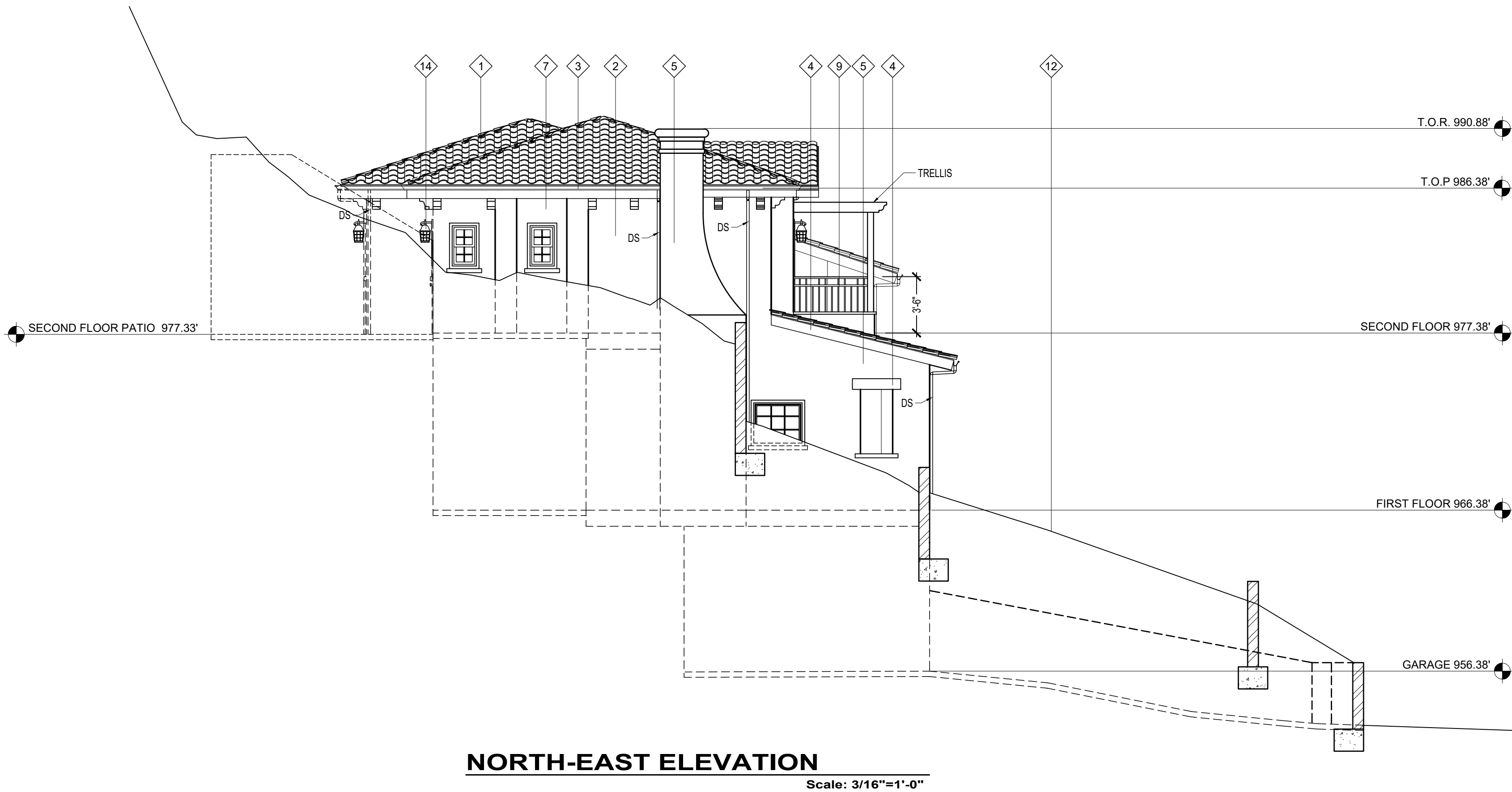
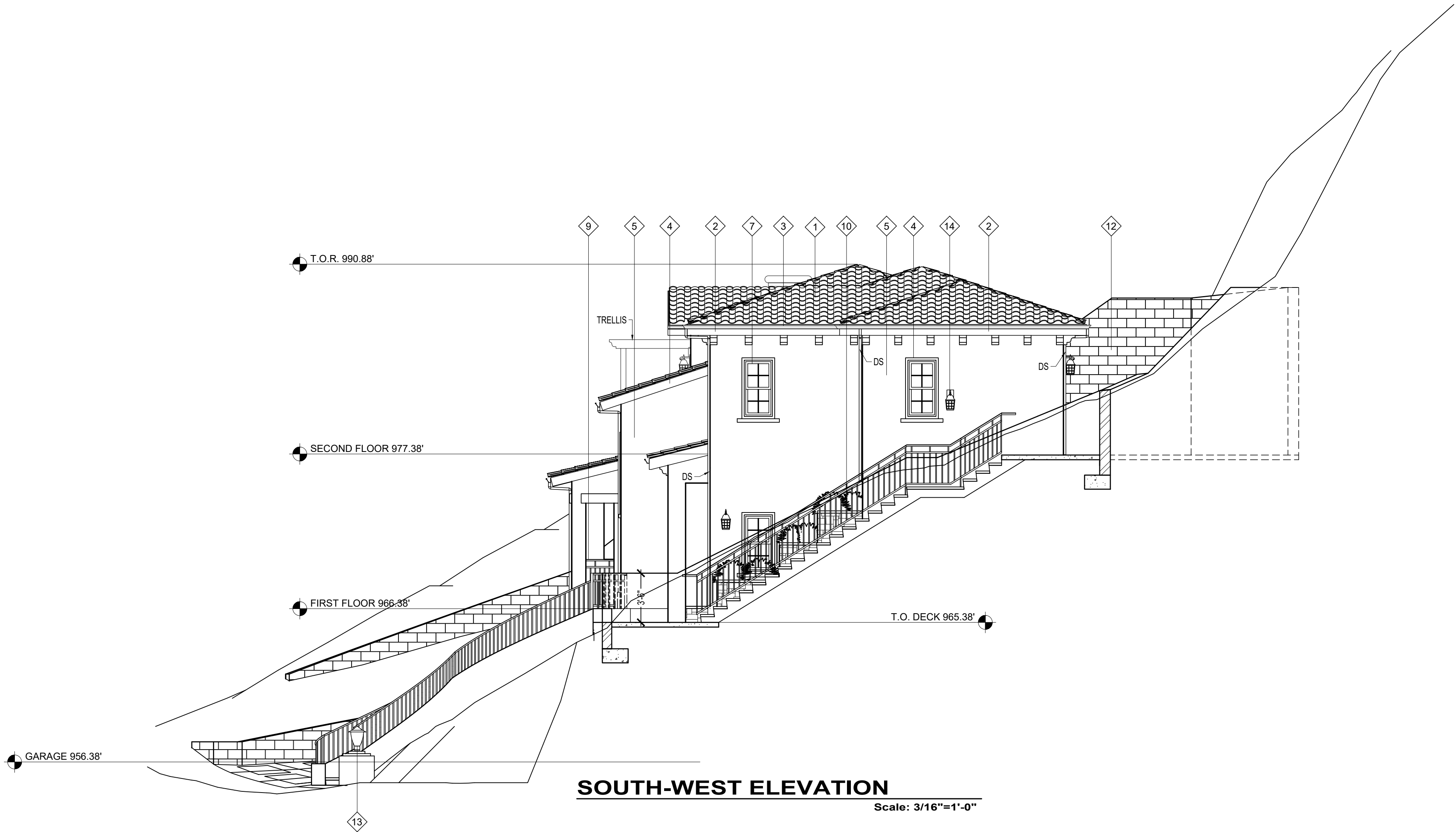
DRAWING TITLE
NORTH-WEST & SOUTH-EAST COLORED ELEVATIONS



DATE:	JUNE 2020
SCALE:	3/16"=1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020 -18

ELEVATION KEYNOTES

- 1
- ROOF : U.S. TILE - TWO PIECE - EL CAMINO BLEND
- 2
- FASCIA :PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 3
- GUTTER : TO MATCH THE FASCIA
- 4
- TRIMS AND EXPOSED BEAMS : PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 5
- STUCCO : LA HABRA X-28 MIRAGE - STEEL TOWELED SMOOTH FINISH
- 6
- ENTRY DOOR : WOOD, STAIN GRADE W/GLASS AND SIDE LIGHT PANELS
- 7
- EXTERIOR SLIDING DOORS AND WINDOWS : "WOOD CLAD" BROWN COLOR TO MATCH THE ENTRY DOOR
- 8
- GARAGE DOOR : WOOD 16'-0"X7'-0" OVERHEAD GARAGE DOOR, COLOR TO MATCH THE ENTRY DOOR
- 9
- RAILINGS : COLOR TO MATCH THE WINDOWS AND DOORS
- 10
- STONES : CORONADO ASHLAR & RUBBLE - TEXAS RUBBLE/TEXAS CREAM
- 11
- DRIVEWAY : PAVING BRICKS @ EDGES - CORONADO FLOOR TILE SERIES - 4"X8" RUSTIC USED BRICK
- 12
- RETAINING WALLS: SPLIT FACE CONC. BLOCK BY PAVESTONE WITH A PRECAST CONC. CAP - COLOR TO MATCH BLOCKS
- 13
- JOHN TIMBERLAND LIGHTING - BELLAGIO COLLECTION 21" HIGH BRONZE OUTDOOR POST LIGHT
- 14
- OUTDOOR 450 LUMEN 2700K SECURITY LANTERNS BY FEIT ELECTRIC



REVISION	BY
04/01/2021	

OWNER
ALFRED BABAYANS. 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011

PROJECT
420 NESMUTH ROAD, GLENDALE, CA. 91202

DRAWING TITLE
SOUTH-WEST & NORTH-EAST ELEVATIONS



DATE:	JUNE 2020
SCALE:	3/16"=1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020 -18
SHEET:	A-9
OF	SHEETS

ELEVATION KEYNOTES

- 1

ROOF : U.S. TILE - TWO PIECE - EL CAMINO BLEND
- 2

FASCIA :PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 3

GUTTER : TO MATCH THE FASCIA
- 4

TRIMS AND EXPOSED BEAMS : PAINTED - DUNN EDWARDS DEC756 WEATHERED BROWN
- 5

STUCCO : LA HABRA X-28 MIRAGE - STEEL TOWELED SMOOTH FINISH
- 6

ENTRY DOOR : WOOD, STAIN GRADE W/GLASS AND SIDE LIGHT PANELS
- 7

EXTERIOR SLIDING DOORS AND WINDOWS : "WOOD CLAD" BROWN COLOR TO MATCH THE ENTRY DOOR
- 8

GARAGE DOOR : WOOD 16'-0"x7'-0" OVERHEAD GARAGE DOOR, COLOR TO MATCH THE ENTRY DOOR
- 9

RAILINGS : COLOR TO MATCH THE WINDOWS AND DOORS
- 10

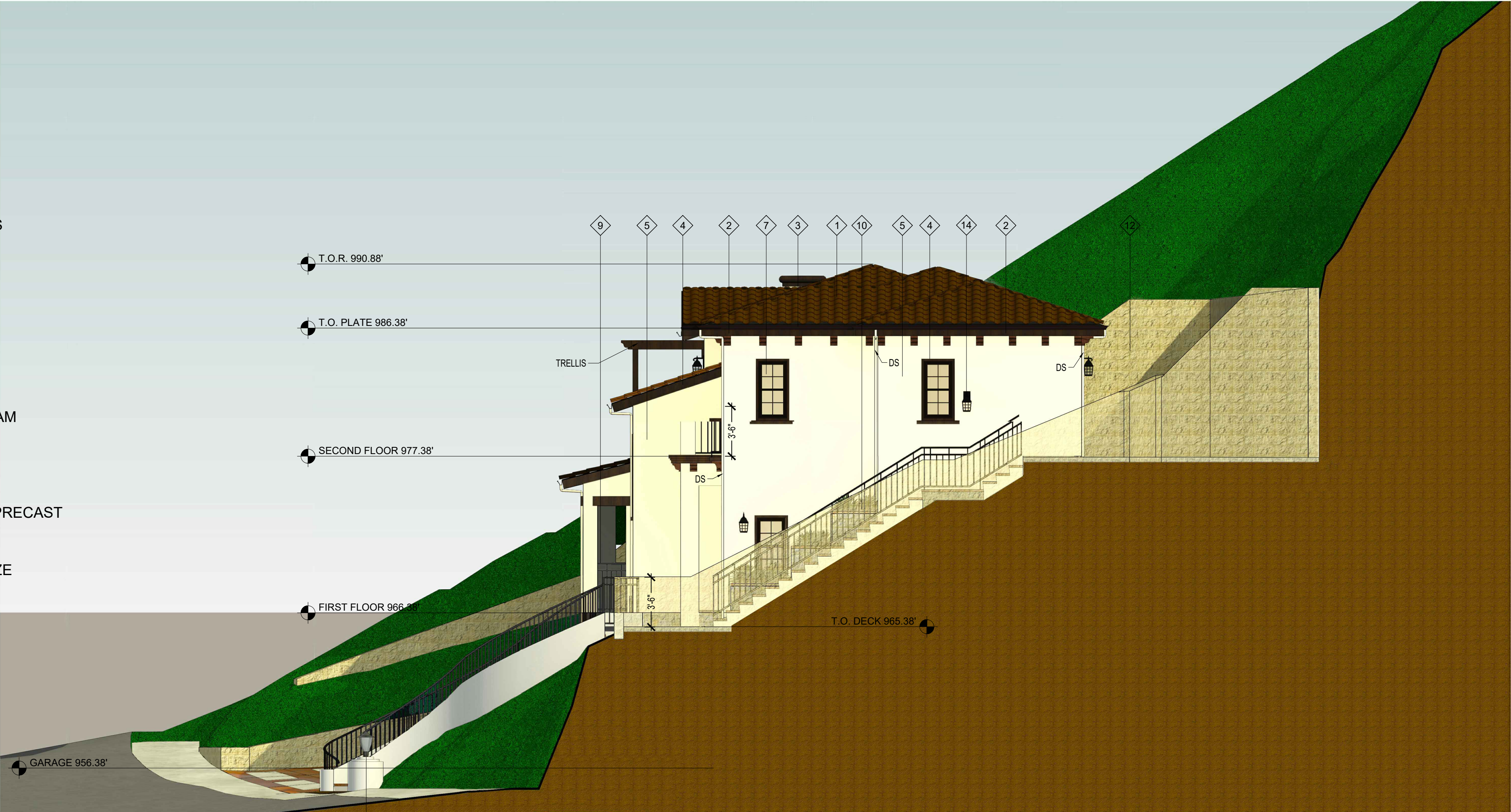
STONES : CORONADO ASHLAR & RUBBLE - TEXAS RUBBLE/TEXAS CREAM
- 11

DRIVEWAY : PAVING BRICKS @ EDGES - CORONADO FLOOR TILE SERIES - 4"x8" RUSTIC USED BRICK
- 12

RETAINING WALLS: SPLIT FACE CONC. BLOCK BY PAVESTONE WITH A PRECAST CONC. CAP - COLOR TO MATCH BLOCKS
- 13

JOHN TIMBERLAND LIGHTING - BELLAGIO COLLECTION 21" HIGH BRONZE OUTDOOR POST LIGHT
- 14

OUTDOOR 450 LUMEN 2700K SECURITY LANTERNS BY FEIT ELECTRIC



SOUTH-WEST ELEVATION

Scale: 3/16"=1'-0"



NORTH-EAST ELEVATION

Scale: 3/16"=1'-0"

REVISION	BY
04/01/2021	

OWNER
ALFRED BABAYANS. 4609 OCEAN VIEW BLVD, LA CANADA, CA, 91011

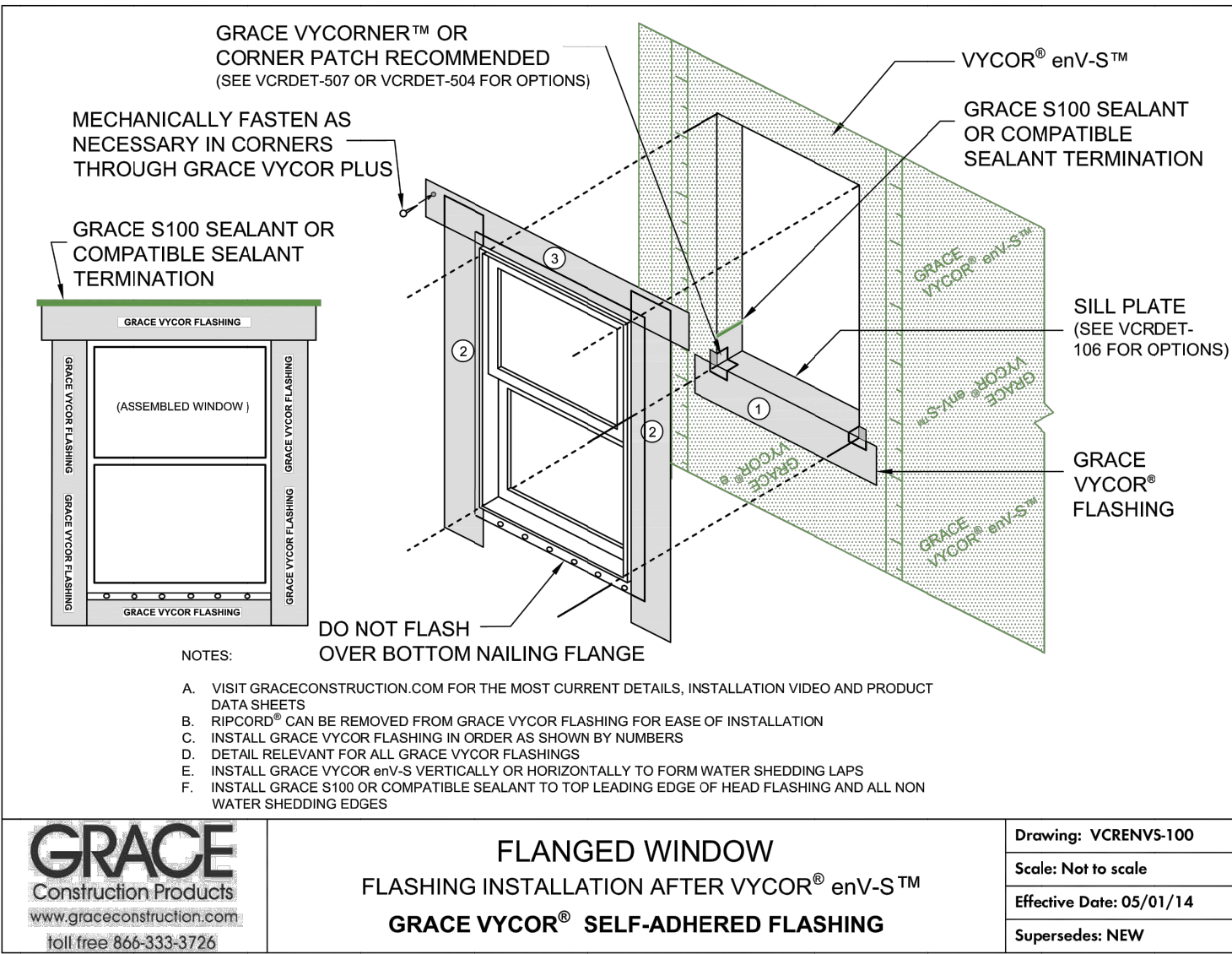
PROJECT
420 NESMUTH ROAD, GLENDALE, CA. 91202

DRAWING TITLE
SOUTH-WEST & NORTH-EAST COLORED ELEVATIONS



DATE:	JUNE 2020
SCALE:	3/16"=1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020 -18

SHEET:	A-9C
OF	SHEETS



US Tile® by Boral®
Build something great™



PRODUCT INFORMATION



Profile:	2-Piece Mission
Color Name:	El Camino Blend
SKU Number:	tops:1UADU6073/pans:1UBSU7025
Product Type:	Standard Weight Tile
Color:	Red, Brown Multicolor
Available Regions:	Nationwide Suitable for Cold Climate Regions, ASTM C1167 Tested

Tile Specifications

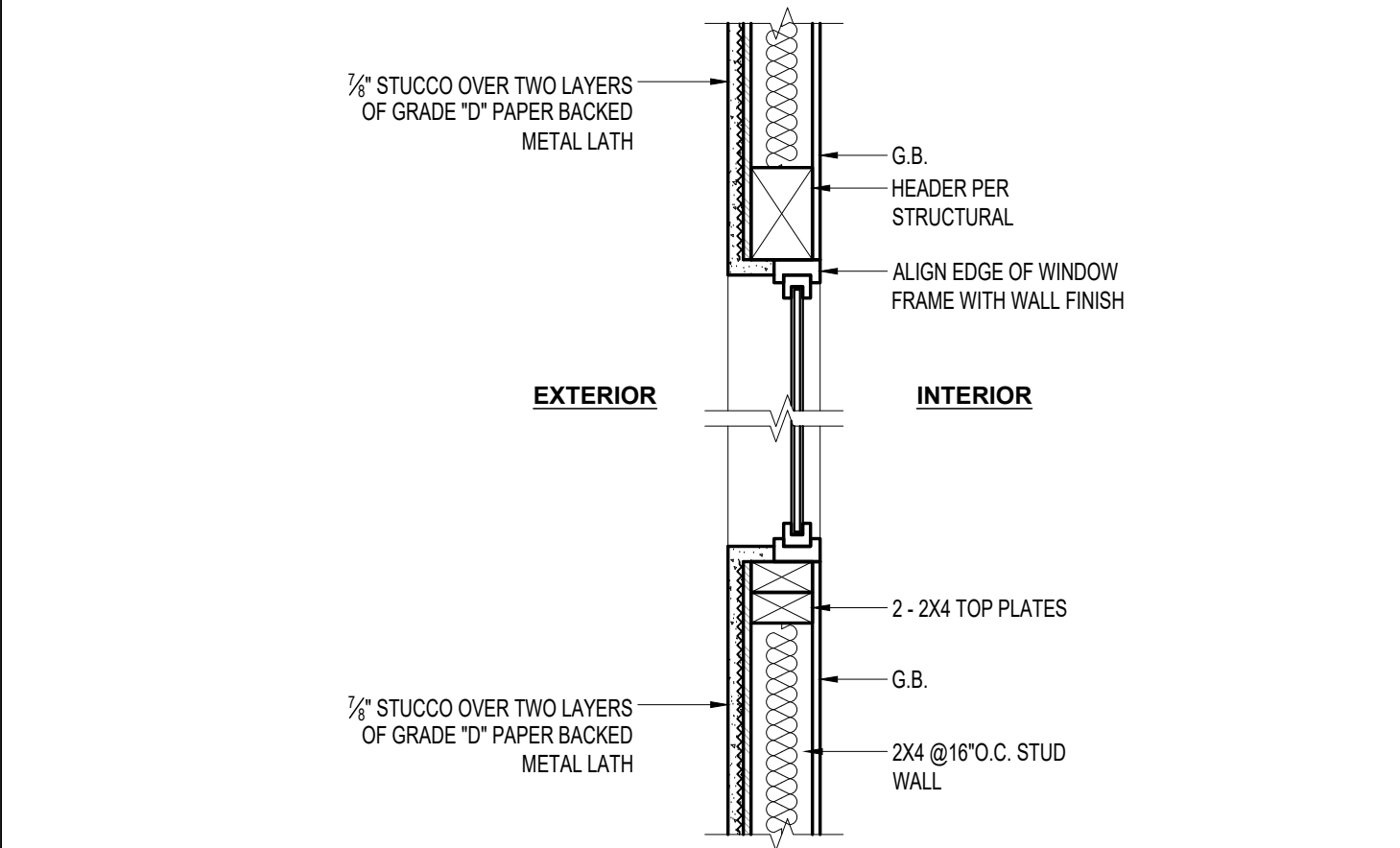
Size:	18" x 7" - 8.5"
Coverage:	172
Approx. Installed Weight:	1,000 lbs
Pieces per Pallet:	360
Squares per Pallet:	2.09
Approx. Weight per Pallet:	2150 lbs

*Calculated Aged Value
The printed color shown here may vary from actual available tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

1.800.669.TILE (8453)
www.BoralRoof.com

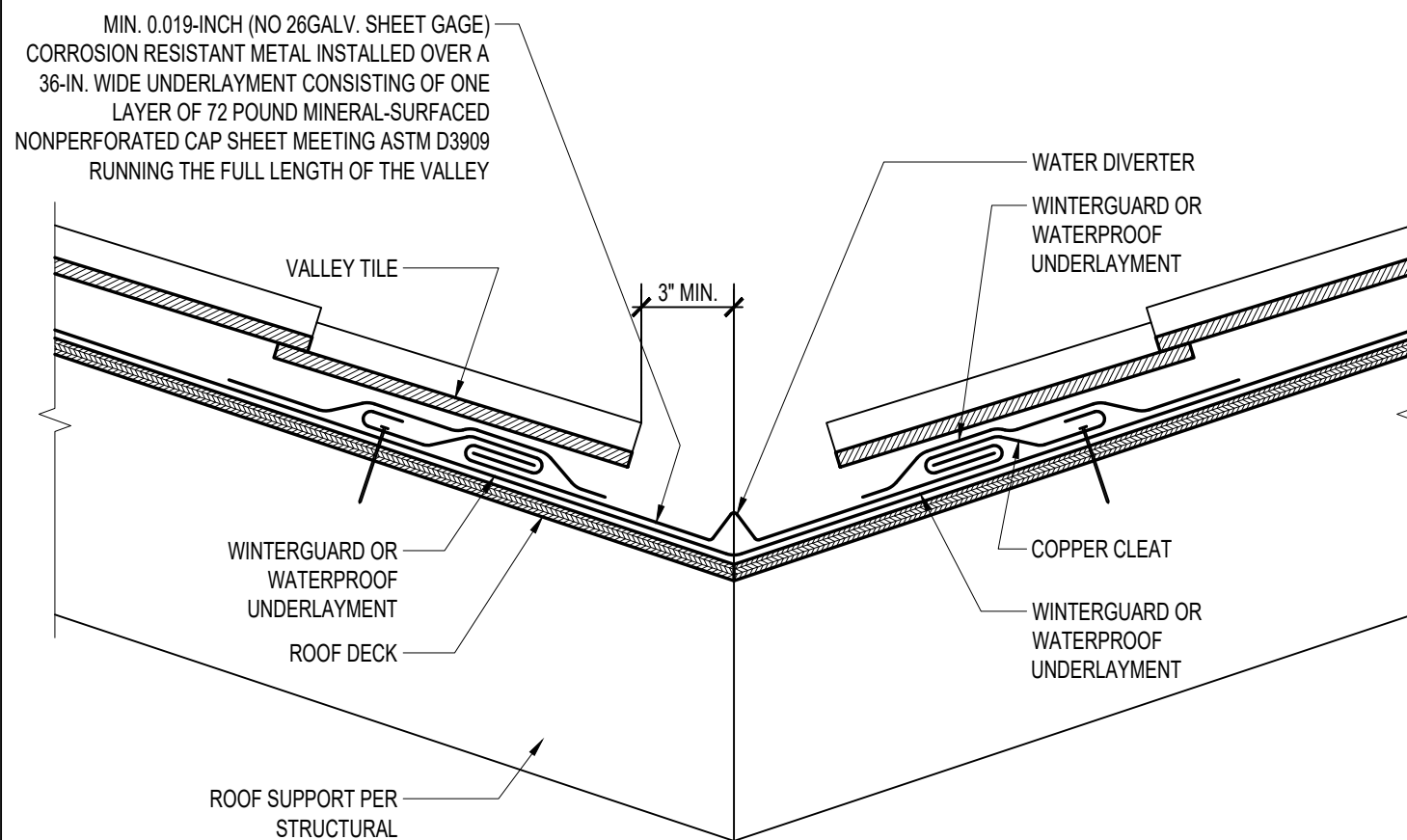
	Initial	Weathered
	Solar Reflectance 0.28	0.26
Thermal Emittance 0.84		0.86
	Rated Product ID Number	0138a
	Licensed Seller ID Number	0942
	Classification	Production Line

Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining seasonal energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary.
Manufacturer of products stipulates that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.



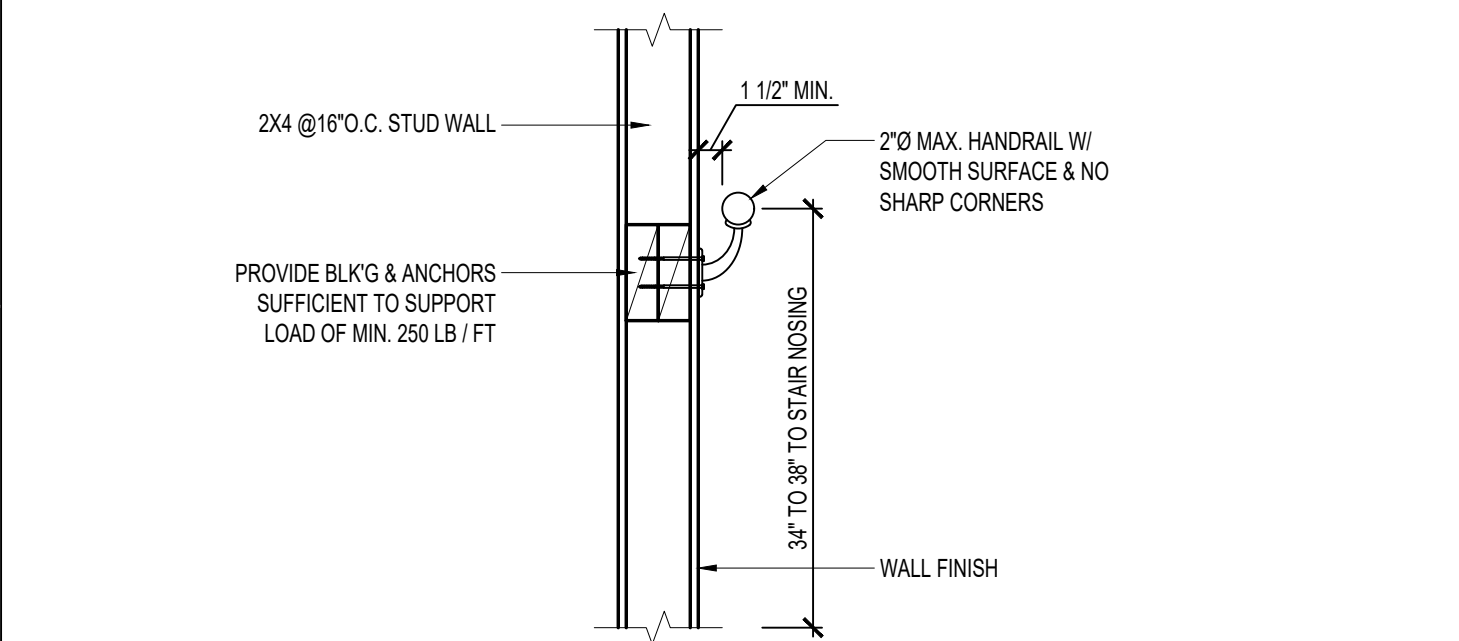
5 TYPICAL VERTICAL SECTION THRU WINDOW

Scale
N.T.S



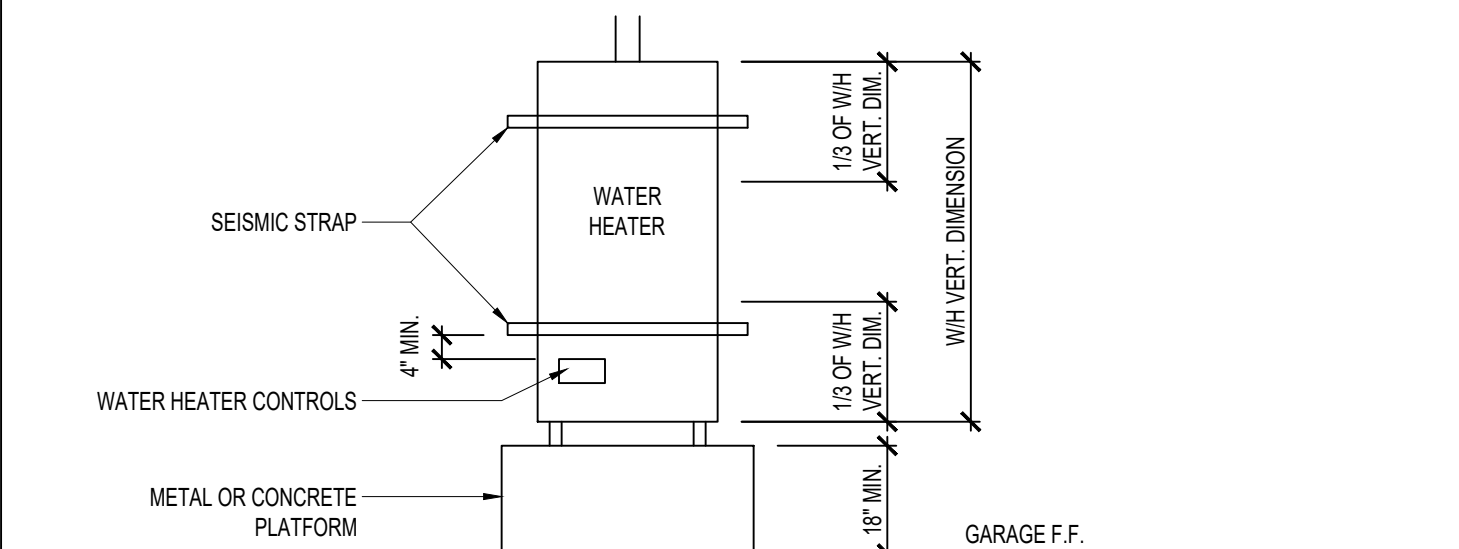
6 FLASHING AT ROOF VALLEY

Scale
N.T.S



7 WALL MOUNTED HANDRAIL

Scale
N.T.S



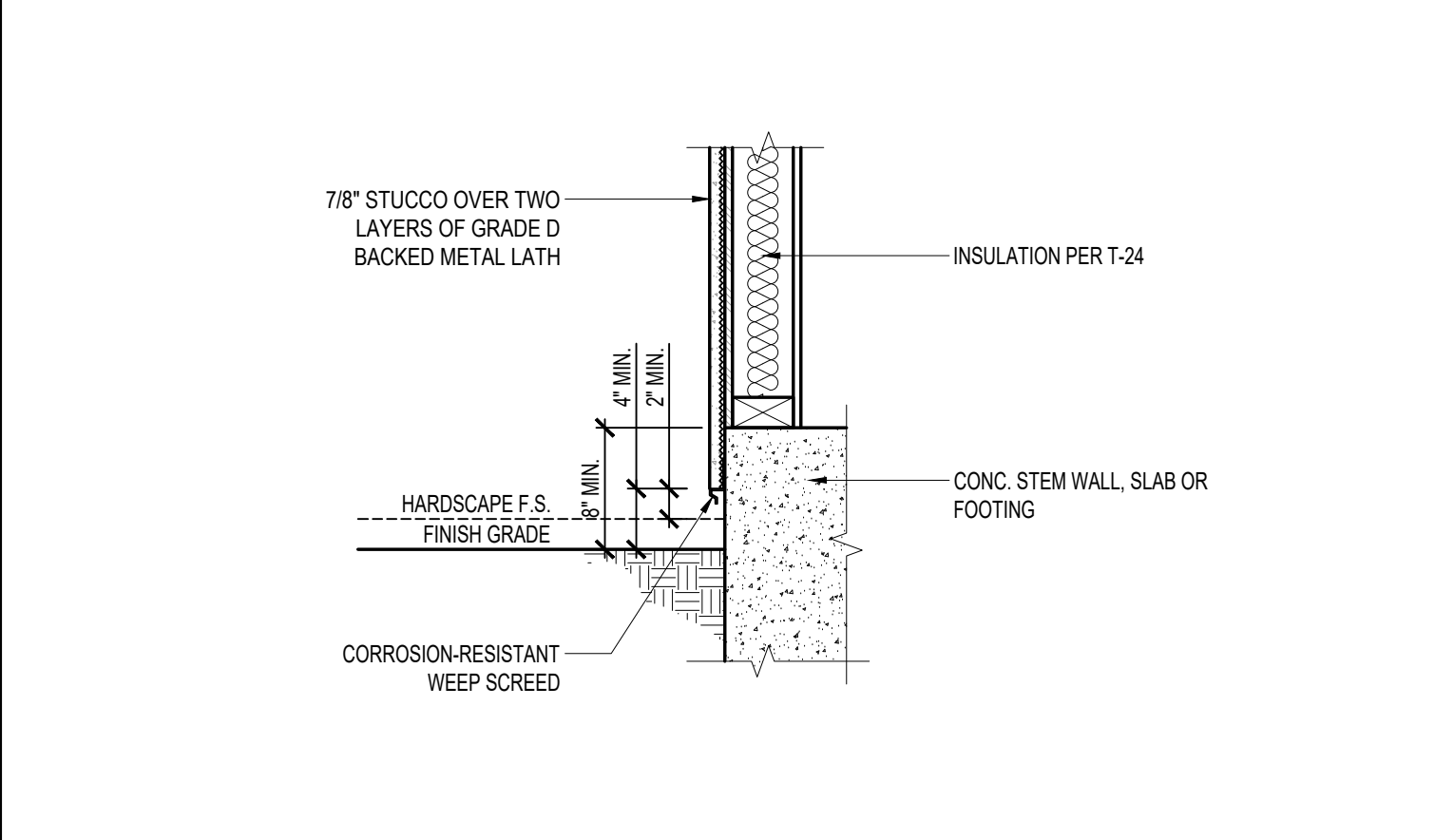
WATER HEATER INSTALLATION NOTES:

- GAS WATER HEATERS INSTALLED IN A GARAGE SHALL BE ELEVATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR.
- WATER HEATER SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE THIRD AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. AT THE LOWER POINT A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING.

NOTE: VOID THIS DETAIL IF WALL MOUNTED WATER HEATER IS USED.

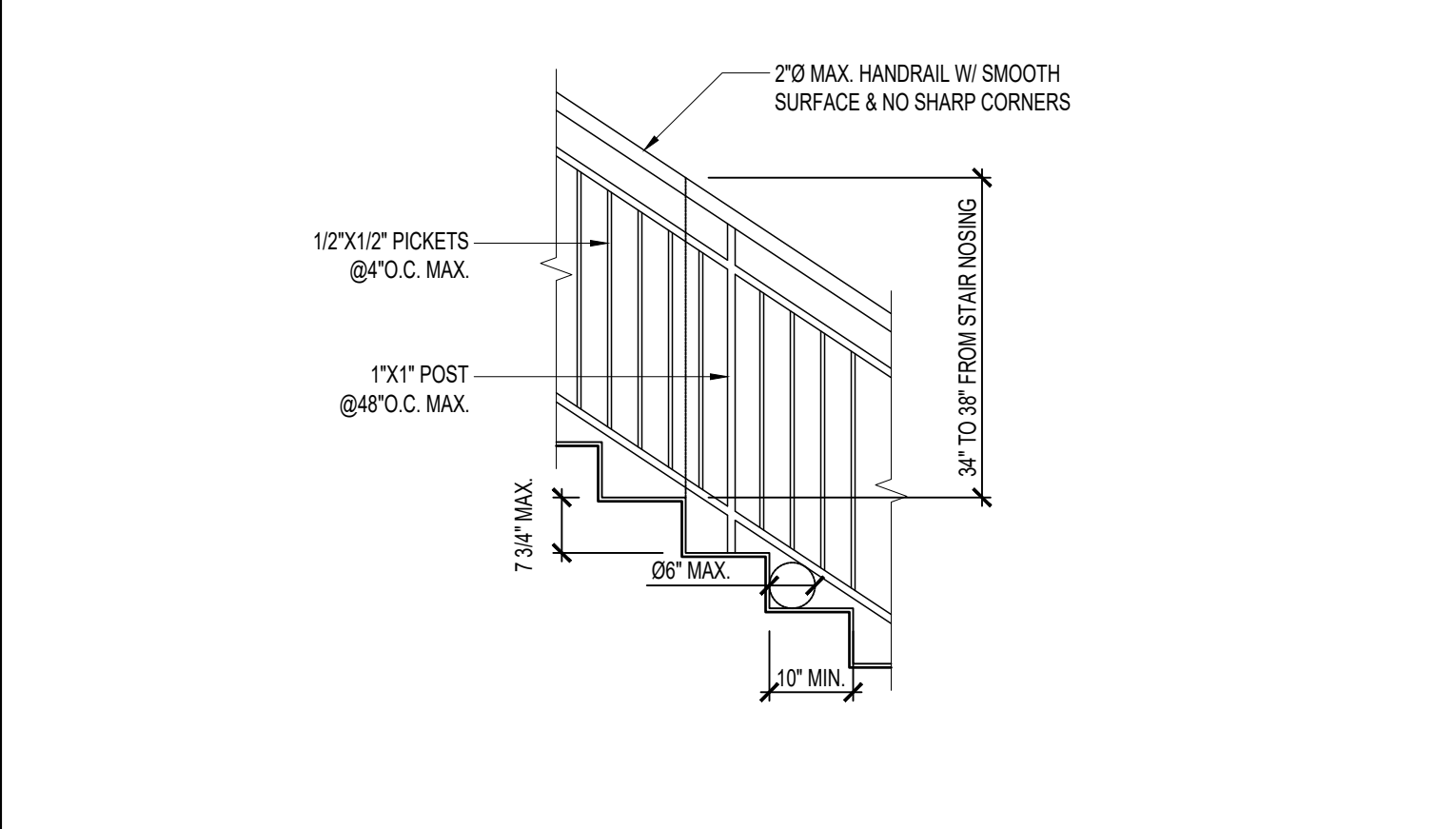
4 WATER HEATER INSTALLATION AND STRAPPING DETAIL

Scale
N.T.S



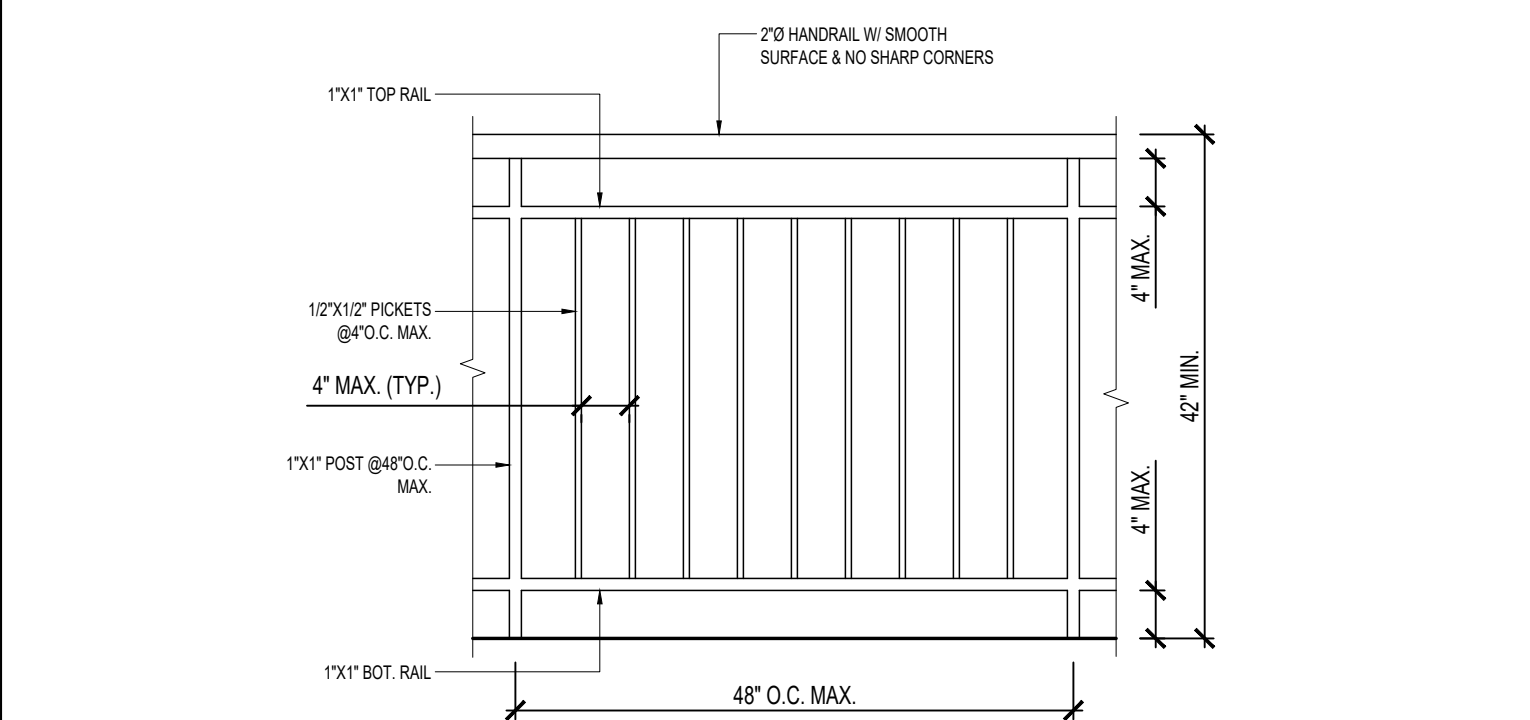
1 WEEP SCREED

Scale
N.T.S



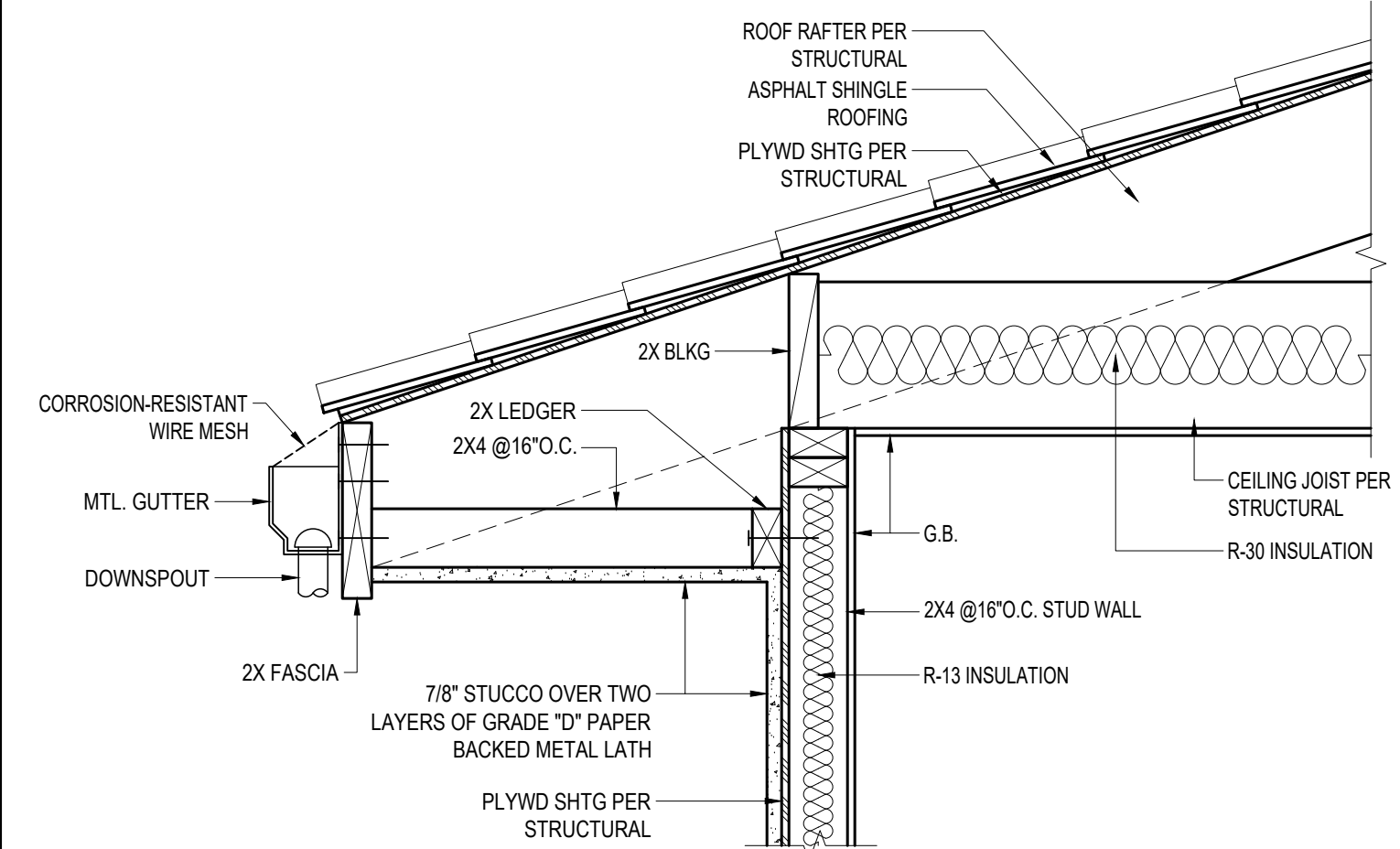
2 RAILING AT STAIRWAYS

Scale
N.T.S



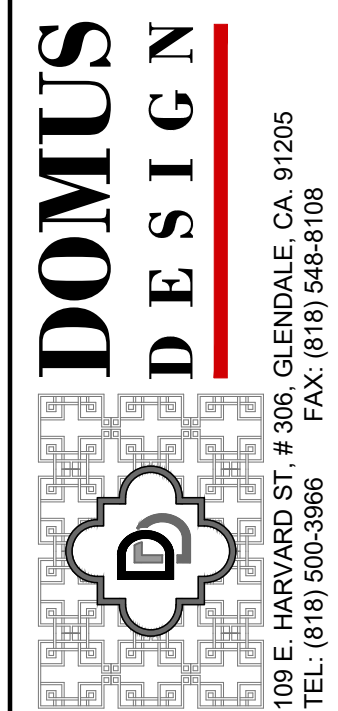
3 GUARDRAIL

Scale
N.T.S



4 TYPICAL EAVE DETAIL

Scale
N.T.S



RCB ENGINEERING
450 North Brand Blvd. # 600
Glendale, CA 91203
TEL: (818) 813-1852

REVISION	BY
04/01/2021	

OWNER

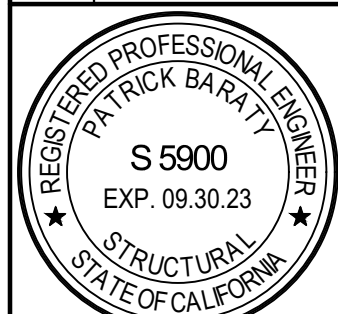
ALFRED BABAYANS.
4609 OCEAN VIEW BLVD,
LA CANADA, CA, 91011

PROJECT

420 NESMUTH ROAD,
GLENDALE, CA. 91202

DRAWING TITLE

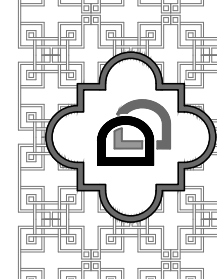
DETAILS



DATE:	JUNE 2020
SCALE:	1/4"=1'-0"
DRAWN:	XXX
APPROVED:	
JOB:	2020 - 18
SHEET:	AD-1

OF SHEETS





DOMUS
D E S I G N

109 E. HARVARD ST. # 306, GLENDALE, CA. 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

RCB
ENGINEERING

450 North Brand Blvd. # 600
Glendale, CA 91203
TEL: (818) 813-1852

REVISION	BY
04/01/2021	

DRAWING TITLE

PROJECT

OWNER

ALFRED BABAYANS.
4609 OCEAN VIEW BLVD,
LA CANADA, CA, 91011

DRAWING TITLE

PROJECT

OWNER

420 NESMUTH ROAD,
GLENDALE, CA. 91202

DRAWING TITLE

PROJECT

OWNER

RENDERING



DATE:	JUNE 2020
SCALE:	N.T.S.
DRAWN:	XXX
APPROVED:	
JOB:	2020 -18

SHEET:

R-1
OF SHEETS